

VILLAGE OF ROYAL PALM BEACH, FLORIDA

PROJECT NAME: Farber Building Renovations
PROJECT NUMBER: EN2401

ADDENDUM NUMBER: THREE

DATE OF ISSUANCE: January 15, 2025

TO: Prospective Bidders

THIS ADDENDUM NO. Three INCLUDES THE FOLLOWING:

- 1) Bid opening date is changed from Tuesday, January 21, 2025 at 3:00 P.M. to Thursday, January 23, 2025 at 3:00 P.M.
- 2) Bidders shall delete item 1 from Addendum two: ~~The hot water heater noted on A-1.01, A-4.01, and P-1.16 call out shall be changed from remove and replace to existing shall remain~~
- 3) Bidders shall remove plan sheets A-0.10, A-1.01, A-4.01, A-4.02, A-5.01, A-5.03, F-0.0, F-0.01, FA-1.01, P-1.12, P-1.13, P-1.15, P-1.16, P-2.01 and add revised Addendum three sheets A-0.10, A-1.01, A-4.01, A-4.02, A-5.01, A-5.03, F-0.0, F-0.01, FA-1.01, P-1.12, P-1.13, P-1.15, P-1.16, P-2.01 (attached)

APPROVED BY: Christopher A. Marsh, P.E., Village Engineer

ACKNOWLEDGMENT OF RECEIPT: _____

Bidder

ABBREVIATIONS

NOTE: NOT ALL ABBREVIATIONS ARE USED IN THIS SET

ABV	ABOVE
AC	AIR CONDITIONER
AFF	ABOVE FINISHED FLOOR
AHU	AIR HANDLER UNIT
AHJ	AUTHORITY HAVING JURISDICTION
BLK	BLOCK
BD	BOARD
B.O.	BOTTOM OF
CL	CENTER LINE
C.J.	CONTROL JOINT
CLS.	CEILING
CMU	CONCRETE MASONRY UNITS
COL.	COLUMN
CONC.	CONCRETE
CONT.	CONTINUOUS
DBL	DOUBLE
D.F.	DRINKING FOUNTAIN
DIA.	DIAMETER
DN.	DOWN
DWG	DRAWING
DS	DOWNSPOUT
ELEC.	ELECTRICAL
E.J.	EXPANSION JOINT
EXT.	EXTERIOR
EXIST.	EXISTING
F.C.L.	FINISHED CEILING LEVEL
F.F.L.	FINISHED FLOOR LEVEL
FD	FLOOR DRAIN
GA.	GAUGE
GALV.	GALVANIZED
GYP.	GYPSPUM
GWB	GYPSPUM WALL BOARD
HC	HOLLOW CORE
HORIZ.	HORIZONTAL
INS.	INSULATION
INT.	INTERIOR
MAX.	MAXIMUM
MECH.	MECHANICAL
MFR.	MANUFACTURER
MIN.	MINIMUM
M.O.	MASONRY OPENING
MTL.	METAL
N.I.C.	NOT IN CONTRACT NUMBER
O.H.	OVERHANG
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
P.H.	PAPER HOLDER
P.L.	PROPERTY LINE
PLF	POUNDS PER LINEAR FOOT
P.T.	PRESSURE TREATED
P.T.D.	PAINTED
PLYWD.	PLYWOOD
R.D.	ROOF DRAIN
SCP	SCUPPER
S.C.	SOLID CORE
SF	SQUARE FOOT
SH	SINGLE HUNG
SHT	SHEET
SIM.	SIMILAR
S.S.	STAINLESS STEEL
STL.	STEEL
STRUCT.	STRUCTURAL
SW	SWITCH
SB	SPLASH BLOCK
SD	STORM DRAIN
SWD	SOLID WOOD
T.O.	TOP OF
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
UL	UNDERWRITERS LABORATORIES
VERT.	VERTICAL
W.A.	WEDGE ANCHORS
W	WITH
WC	WATER CLOSET
WD.	WOOD
W.H.	WATER HEATER

GENERAL NOTES

- THE GYM AND EXISTING TRAINING ROOM SHALL REMAIN OPEN THROUGHOUT CONSTRUCTION TO BE BEST OF THE CONTRACTOR'S ABILITY.

DEMOLITION NOTES

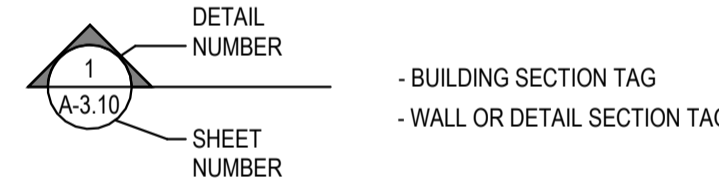
- CONTRACTOR IS RESPONSIBLE FOR BECOMING FULLY INFORMED AS TO EXISTING CONDITIONS AT THE SITE. NEITHER THE OWNER NOR THE A/E MAKES ANY REPRESENTATION WARRANTY AS TO SITE CONDITIONS.
- CONTRACTOR TO PROVIDE THE NECESSARY LABOR, MATERIAL, SCAFFOLDING & EQUIPMENT REQUIRED TO COMPLETE DEMOLITION AS DESCRIBED IN THE DRAWING.
- CONTRACTOR SHALL VERIFY THE DEMOLITION PHASING SCHEDULE, WITH THE OWNER BEFORE START DEMOLITION WORK.
- MATERIALS, EQUIPMENT & RUBBISH, EXCEPT FOR ITEMS TO BE REUSED, SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH LOCAL AND STATE CODES.
- CONTRACTOR SHALL COORDINATE WITH OWNER ANY ITEMS, FIXTURES, AND/OR BUILDING ELEMENTS TO BE SALVAGED PRIOR TO START OF DEMOLITION.
- THE DEMOLITION PLAN AND KEY NOTES ARE PROVIDED FOR REFERENCE ONLY. IT DOES NOT INTEND TO ADDRESS ALL DEMOLITION SCOPE OF WORK. CONTRACTOR SHALL COORDINATE FULL DEMOLITION SCOPE WITH EXISTING CONDITIONS AND PROPOSED PLANS.
- CONTRACTOR SHALL REPORT TO ARCHITECT ANY DISCREPANCY FOUND ON SITE WITH THE DEMOLITION PLAN PRIOR TO START.
- ALL DEMOLITION RENOVATION, AND NEW CONSTRUCTION SHALL COMPLY WITH NFPA 241 AND ALL OTHER APPLICABLE NATIONAL STATE AND LOCAL CODES, RULES, AND ORDINANCES.
- CONTRACTOR IS FULLY RESPONSIBLE FOR THE SAFETY AND PROTECTION OF WORKMEN AND THE PUBLIC FROM DEMOLITION WORK. CONTRACTOR SHALL PROTECT ALL EXISTING OCCUPIED AREAS AS NECESSARY UTILIZING (BUT NOT LIMITED TO) LIGHTING BARRICADES, WORKING SIGNS, AND DUST BARRIERS.
- CONTRACTOR SHALL VERIFY WITH LOCAL JURISDICTION, THE REQUIREMENTS FOR DEBRIS, DUMPSTER LOCATION AND COLLECTION SCHEDULE PRIOR TO COMMENCEMENT.
- UPON COMPLETION OF DEMOLITION WORK, ADJACENT AREAS AND PROPERTY SHALL BE LEFT CLEAN AND SATISFACTORY TO THE AUTHORITIES HAVING JURISDICTION, THE OWNER AND ARCHITECT.
- EXISTING BUILDING ELEMENTS THAT ARE AFFECTED BY DEMOLITION ARE TO BE PATCHED AND REPAIRED TO MATCH ADJACENT EXISTING CONDITIONS, FINISHES AND MAINTAIN EXISTING FIRE RATINGS WHERE APPLICABLE.
- EXISTING CONCRETE FLOOR TRENCHING AND EXISTING PARTITION WALL/CEILING GYPSPUM BOARD REMOVAL MAY BE REQUIRED FOR NEW PLUMBING/ELECTRICAL WORK.
- UNLESS NOTED OTHERWISE, ALLOW TWO INCHES OF VARIANCE UP AND DOWN FOR GIVEN DIMENSIONS OF EXISTING CONDITIONS. CONTRACTOR TO VERIFY AND REPORT TO ARCHITECT OF ANY DISCREPANCIES PRIOR TO START OF DEMOLITION WORK.
- CONTRACTOR SHALL VERIFY AND SHORE BEARING STRUCTURES PROPERLY PRIOR TO DEMOLITION WORK (AS NECESSARY)
- CONTRACTOR TO COORDINATE AND SCHEDULE ALL UTILITIES SHUTDOWNS WITH THE LOCAL UTILITY COMPANIES, AUTHORITIES HAVING JURISDICTION, AND BUILDING MANAGERS AS APPLICABLE.
- FOR EQUIPMENT AND SYSTEMS TO REMAIN, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE CONDITION OF EXACT SIZES AND LOCATION OF EXISTING DUCT AND PIPING ETC. BEFORE DEMOLITION WORK IS BEGUN. REPORT ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL FIELD CONDITIONS TO THE OWNER AND ENGINEER PRIOR TO THE COMMENCEMENT OF DEMOLITION WORK.
- ALL PLUMBING PIPES ASSOCIATED WITH FIXTURES TO BE DEMOLISHED OR REMOVED (INCLUDING BUT NOT LIMITED TO) SANITARY, WATER, GREASE, GAS, CONDENSATE, AND REFRIGERATION) SHALL BE CAPPED BELOW SLAB, ABOVE CEILING OR IN WALL (TO REMAIN).
- NO EXISTING PIPING SHALL BE LEFT OPEN AFTER PARTIAL REMOVAL. PIPE SHALL BE PERMANENTLY CAPPED OR TEMPORARILY CAPPED IF MADE READY FOR CONNECTION TO NEW WORK.
- CONTRACTOR SHALL VERIFY LOCATION OF EXISTING UNDERGROUND/UNDER-SLAB LINES AND COORDINATE WITH ALL DISCIPLINES FOR NEW CONNECTIONS.
- PREPARE WALL TO RECEIVED FRESH PAINT. REFER TO FINISH SCHEDULE.

GENERAL NOTES

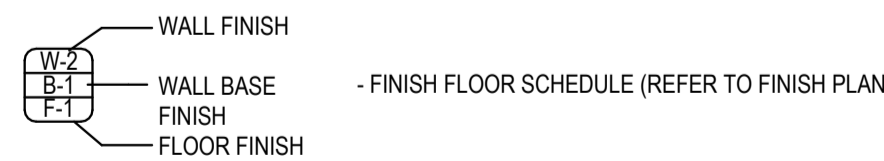
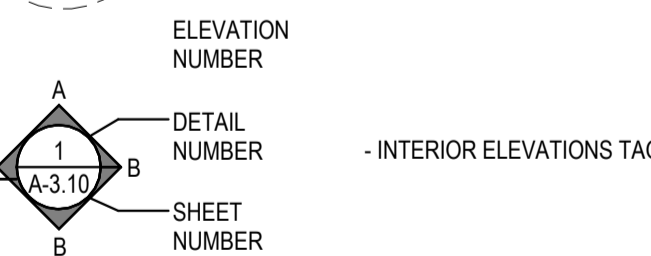
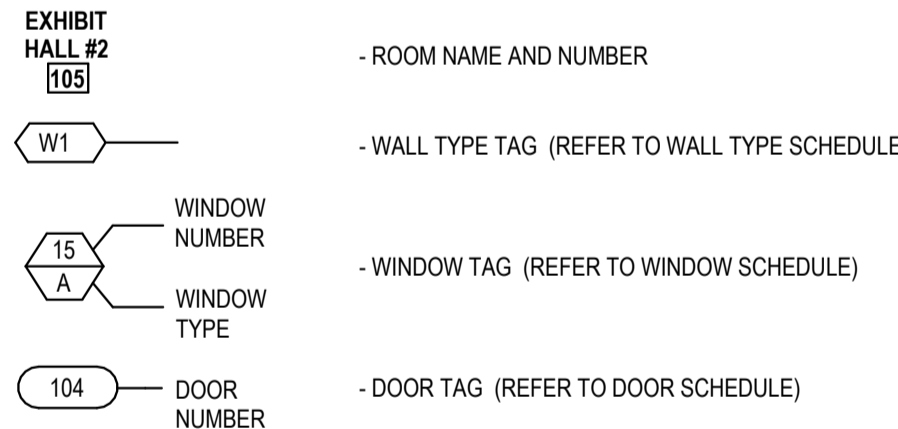
- THE ARCHITECTURAL DESIGN AND DETAIL DRAWINGS ARE THE LEGAL PROPERTY OF THE ARCHITECT AND ARE INSTRUMENTS OF SERVICE NOT TO BE REPRODUCED IN WHOLE OR IN PARTS WITHOUT THE EXPRESS WRITTEN CONSENT OF THE SAME.
- IT IS THE INTENT OF THE ARCHITECT THAT THE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY.
- IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS TO COMPLETE ALL BUILDING SYSTEMS AND PROVIDE ALL NECESSARY APPURTENANCES FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER AND IN ACCORDANCE WITH ALL APPLICABLE CODES, RULES, AND REGULATIONS.
- ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUCTED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN. DETAILED AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS.
- ALL DIMENSIONS SHOWN ARE NOMINAL UNLESS OTHERWISE NOTED. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY.
- ALL WORK SHALL CONFORM TO F.B.C. 2023 8th EDITION.
- ALL DESIGN LOADS ARE TO BE AT MINIMUM PER F.B.C. 2023 8th EDITION & F.B.C.-R AND AS OTHERWISE INDICATED IN THE STRUCTURAL DRAWINGS.
- SITE TO BE FILLED TO CITY & COUNTY FLOOD CRITERIA ELEVATION N.A.V.D. OR AN ELEVATION NO LESS THAN THE HIGHEST APPROVED CROWN ELEVATION OF THE ROAD ABOUTING THE PROPERTY.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. ALL HEADERS ARE DOUBLE MEMBERS UNLESS OTHERWISE NOTED.
- ALL PENETRATIONS THROUGH ANY RATED ASSEMBLY SHALL BE PROVIDED WITH UL APPROVED PENETRATION RATED MATERIAL.
- HARDWARE, BATHROOM FIXTURES, LIGHTING FIXTURES, AND OTHER MISCELLANEOUS ITEMS NOT SPECIFICALLY CALLED OUT ON DRAWINGS SHALL BE SELECTED BY OWNER.
- ALL MECHANICAL, PLUMBING AND ELECTRICAL SHALL COMPLY WITH THE F.B.C. 2023 8TH EDITION (MECH),(ELECT),(PLUMB)
- ALL WORK TO BE TRUE TO LINE, PLUMB AND SQUARE AND ADEQUATELY SUPPORTED. FILL ALL VOIDS BETWEEN COMPONENTS. ALL ITEMS THAT DO NOT MEET THE ARCHITECT'S SATISFACTION AS TO GOOD TRADE PRACTICES AND QUALITY WORKMANSHIP WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- WHEN CONFLICTING INFORMATION IS FOUND IN THE DRAWINGS AND/OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CLARIFICATION PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS TO ACQUIRE ALL REQUIRED PERMITS FOR DEMOLITION (IF APPLICABLE), CONSTRUCTION, AND OCCUPANCY OF THE PROJECT.
- THE CONTRACTOR SHALL SUBMIT A SCHEDULE FOR DEMOLITION AND CONSTRUCTION PROCEDURES AND OPERATIONAL SEQUENCE FOR REVIEW AND ACCEPTANCE BY THE ARCHITECT/ENGINEER AND OWNER.
- CONTRACTOR IS TO COORDINATE AND SCHEDULE THE WORK OF ALL TRADES TO INSURE THE WORK IS COMPLETED IN A TIMELY MANNER, COMPLYING WITH OWNER/CONTRACTOR AGREEMENT.
- CONTRACTOR SHALL SUBMIT PRODUCT APPROVAL DATA FOR ALL PRODUCTS AND MATERIALS AS REQUIRED BY CODE AND SPECIFIC MUNICIPALITY THE PROJECT IS LOCATED IN.
- CONTRACTOR SHALL SUBMIT, WITHIN 15 DAYS FROM OWNER/CONTRACTOR CONTRACT, A SHOP DRAWING AND SUBMITTAL SCHEDULE FOR ARCHITECT AND OWNER APPROVAL.
- CONTRACTOR SUBMITTALS MUST BE SUBMITTED VIA E-MAIL IN ELECTRONIC FORMAT FOR ARCHITECT/ENGINEER/OWNER RECORDS, PLUS ANY ADDITIONAL SETS REQUIRED FOR PERMITTING AND CONTRACTORS USE. ALL SUBMITTALS MUST BE COMPLETE (NO PARTIAL SUBMITTALS WILL BE RECEIVED). ALL SHOP DRAWINGS MUST BE REVIEWED AND APPROVED BY THE CONTRACTOR BEFORE SUBMITTING TO THE ARCHITECT/ENGINEER AND OWNER.
- ALL EXTERIOR WINDOWS & DOORS SHALL BE IMPACT RESISTANT.
- CONTRACTOR SHALL PROVIDE THE ARCHITECT AND OWNER WITH RED-LINED AS-BUILT DRAWINGS FOR ANY AND ALL FIELD CHANGES AND/OR ADDITIONS TO THE WORK INCLUDED IN THE DRAWINGS.
- ALL WORK DONE UNDER THE SUPERVISION OF THE CONTRACTOR SHALL BE IN A NEAT AND WORKMAN-LIKE MANNER AND IN ACCORDANCE WITH ALL GOVERNING AGENCIES, APPLICABLE CODES, RULES AND REGULATIONS HAVING JURISDICTION.
- CONTRACTOR SHOULD MAINTAIN THE SITE SAFE AND CLEAR OF DEBRIS. ALL CONSTRUCTION DEBRIS IS TO BE REMOVED FROM THE WORK AREAS DAILY AND FROM THE SITE AT PROPER INTERVALS.
- THE CONTRACTOR SHALL PROVIDE AN ON-SITE DUMPSTER IN A LOCATION APPROVED BY THE OWNER FOR THE DISPOSAL OF REMOVED MATERIAL. THE DUMPSTER SHALL BE EMPTIED AT APPROPRIATE INTERVALS TO PREVENT OVERFLOW AND UNSIGHTLY CONDITIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF HIS WORK, INCLUDING BUT NOT LIMITED TO VANDALISM, THEFT, ETC.
- CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROTECTION AND SAFEKEEPING OF GOODS BEING INSTALLED UNDER THIS CONTRACT, AS WELL AS FOR COMPLIANCE WITH ALL APPLICABLE OSHA REGULATIONS.
- THE ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION RELATED, METHODS, SEQUENCES, PROCEDURES OR FOR PRECAUTIONS AND PROGRAMS MEANS TO THE PROJECT'S CONSTRUCTION.
- THE CONTRACTOR IS TO VISIT THE SITE AND VERIFY ALL EXISTING BUILDING AND SITE CONDITIONS AND DIMENSIONS. SHOULD ANY DISCREPANCIES BE ENCOUNTERED BETWEEN THE DRAWINGS AND THE FIELD CONDITIONS, THE ARCHITECT/ENGINEER SHOULD BE NOTIFIED IN WRITING 7 DAYS PRIOR TO SUBMITTING HIS BID. ANY DISCREPANCIES SHALL BE RESOLVED BY THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
- CONTRACTOR IS TO PROVIDE ALL THE SUPPLEMENTARY MATERIALS REQUIRED TO PROPERLY INSTALL, SUPPORT, BRACE AND SHORE ALL BUILDING COMPONENTS WITHIN THE SCOPE OF THE PROJECT.
- CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE WORK ALL INSERTS, ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, HANGERS, SLAB DEPRESSIONS, AND PITCHES AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH SPECIFIC STANDARDS AND REQUIREMENTS BY CORRESPONDING TESTING AGENCIES ON ASSEMBLIES CALLED OUT IN DRAWINGS & SPECIFICATIONS.
- CONTRACTOR SHALL EMPLOY AND PAY FOR SERVICES OF AN INDEPENDENT, QUALIFIED TESTING LABORATORY TO PERFORM SOIL COMPACTION TEST AS WELL AS COMPREHENSIVE STRENGTH TEST IN CONCRETE SAMPLINGS, AS PER ASTM STANDARDS.
- CONTRACTOR SHALL PROVIDE MOCKUP FOR EXTERIOR AND INTERIOR FINISHES AND COLOR SELECTIONS FOR ARCHITECT AND OWNER APPROVAL.
- TO OBTAIN ARCHITECT'S APPROVAL ON APPLICATION FOR PAYMENT, CONTRACTOR SHALL SUBMIT DETAILED SCHEDULE OF VALUES PER TRADE, BROKEN DOWN TO SUFFICIENT LINE ITEMS TO GRANT PAYMENT ON COMPLETED PORTIONS ONLY. NO PAYMENT WILL BE PROVIDED ON PARTIALLY COMPLETED LINE ITEMS.
- ALL RIGID BOARD INSULATION SHALL BE POLYISOCYANURATE "POLYISO". EPS AND XPS ARE NOT ALLOWED SUBSTITUTIONS.
- SUBMITTALS BY CONTRACTOR - UP TO TWO REVIEWS OF SUBMITTALS ARE INCLUDED IN THIS PROJECT. ANY ADDITIONAL REVIEWS OF SUBMITTALS WILL BE BILLED TO THE CONTRACTOR AND PAYABLE TO THE ARCHITECT, ARCHITECT'S AND/OR OWNER'S CONSULTANTS AT THEIR CURRENT HOURLY RATE.
- NO SUBSTITUTIONS ARE ALLOWED UNLESS PREVIOUSLY REVIEWED AND ACCEPTED BY OWNER. SUBMIT SUBSTITUTION REQUESTS TO ARCHITECT FOR REVIEW AND COMMENT. ALLOW UP TO ONE WEEK FOR REVIEW, SUBMIT EARLY ENOUGH TO ACCOMMODATE ALL LEAD TIME AND NOT NEGATIVELY AFFECT PROJECT SCHEDULE.
- ALL FOAM PLASTIC INSULATION SHALL BE COVERED BY THERMAL BARRIER AND NOT EXPOSED.

ARCHITECTURAL SYMBOLS

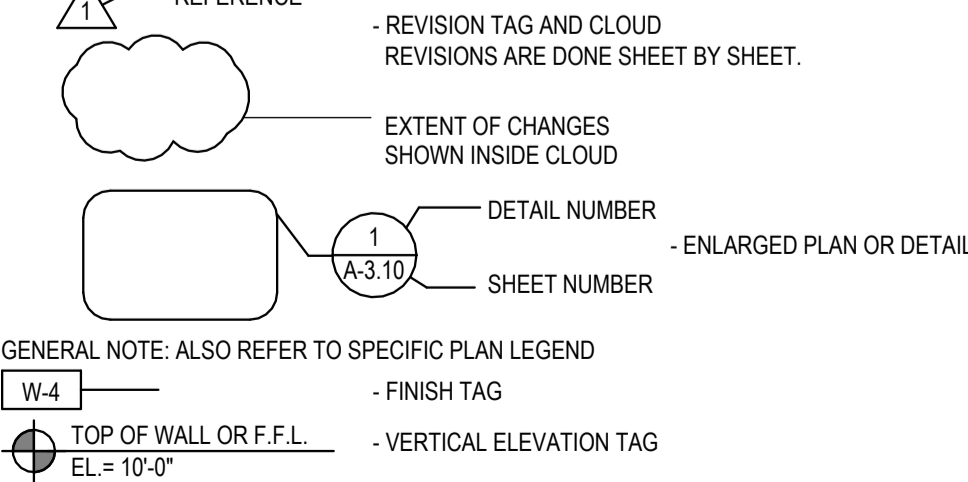
ELEVATIONS / SECTIONS / DETAILS SYMBOLS



FLOOR PLANS



GENERAL



Rick Gonzalez, AIA
President
FL License AR0014172
120 South Olive Ave. Ste. 210,
West Palm Beach, FL 33401
P (561) 659-2383
www.regarchitects.com

DAVID B. FARBER BUILDING
RENOVATION

1050 ROYAL PALM BEACH
BLVD. ROYAL PALM BEACH, FL,
33411

NO.	DATE	DESCRIPTION
1	01/09/25	ADDENDUM #3

DATE: 12.13.2024

MODELED CA

CHECKED MA/REG

PROJECT # 24009

© REG 2024

OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

ARCHITECTURAL INFORMATION

PERMIT SET

A-0.10

DEMO FLOOR PLAN LEGEND			
	EXISTING WATER HEATER TO BE REPLACED		EXISTING WALL/PARTITION TO BE REMOVED
	EXISTING OUTLET TO REMAIN		EXISTING FLOORING TO BE DEMOLISHED
	EXISTING DATA TO REMAIN		EXISTING CONCRETE SLAB FLOOR TO REMAIN
	EXISTING OUTLET TO BE DEMOLISHED		NOT IN SCOPE
	EXISTING DATA TO BE DEMOLISHED		
	EXISTING LAVATORY TO BE REMOVED AND REPLACED		
	EXISTING TOILET TO BE REMOVED AND REPLACED		
	EXISTING SHOWER TO BE REMOVED AND REPLACED		
	EXISTING URINAL TO BE REMOVED AND REPLACED		

FLOOR PLAN LEGEND			
	NEW OUTLET		NEW STUD PARTITION (SEE WALL TYPES)
	EXISTING GFI OUTLET		EXISTING WALL WITH NEW TILE (SEE WALL TYPES)
	NEW DATA		EXISTING WALL TO REMAIN
	EXISTING CARD READER TO RECONNECT TO NEW DOOR LOCATION		NOT IN SCOPE
	EXISTING J-BOX		
	NEW FLOOR OUTLET AND DATA		
	EXHIBIT HALL #2 105		- ROOM NAME AND NUMBER
			- WALL TYPE TAG (REFER TO WALL TYPE SHEET)
			- DOOR TAG (REFER TO DOOR SCHEDULE)
			- FLOOR DRAIN (REFER TO PLUMBING DRAWINGS)

NOTE: PROVIDE CONDUIT AT ALL NEW DATA LOCATIONS ROUTED THROUGH FURRED WALL AND HOMERUN TO I.T. ROOM. REFER TO ELECTRICAL DRAWINGS.

DEMOLITION NOTE

EXISTING TILE, BATHROOM FIXTURES TOILETS, URINAL, LAVATORIES AND SHOWERS TO BE REMOVED AND REPLACED. COMPLETE RENOVATION OF BOTH BATHROOMS MEN AND WOMEN. ALL BATHROOM ACCESSORIES TO BE REPLACED (TOWEL DISPENSER, SOAP DISPENSER, TISSUE DISPENSER, GRAB BARS, TOILET PARTITIONS).

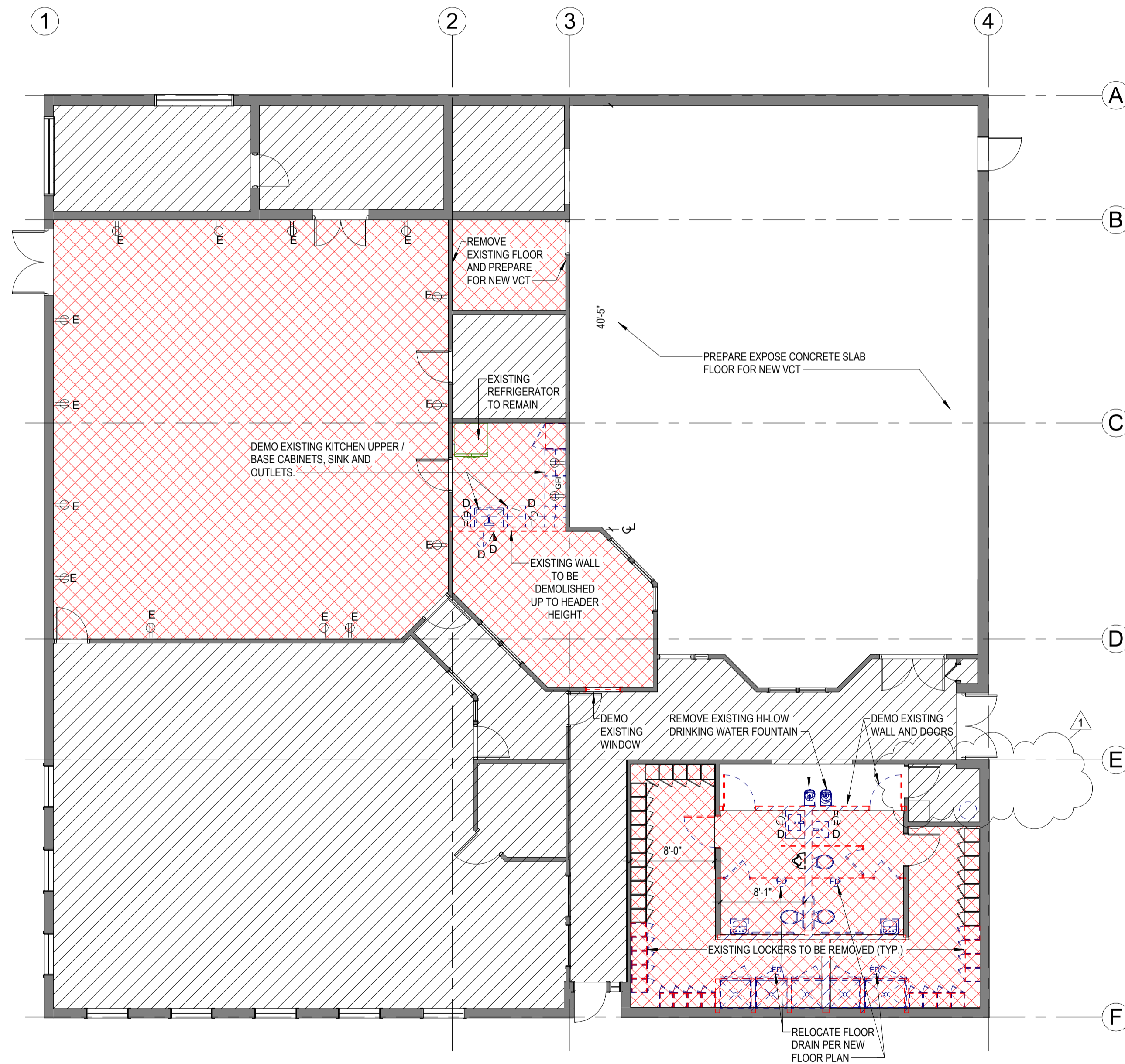
DIMENSION NOTES

DIMENSION TO CMU ARE FROM FACE TO FACE UNLESS NOTED OTHERWISE.

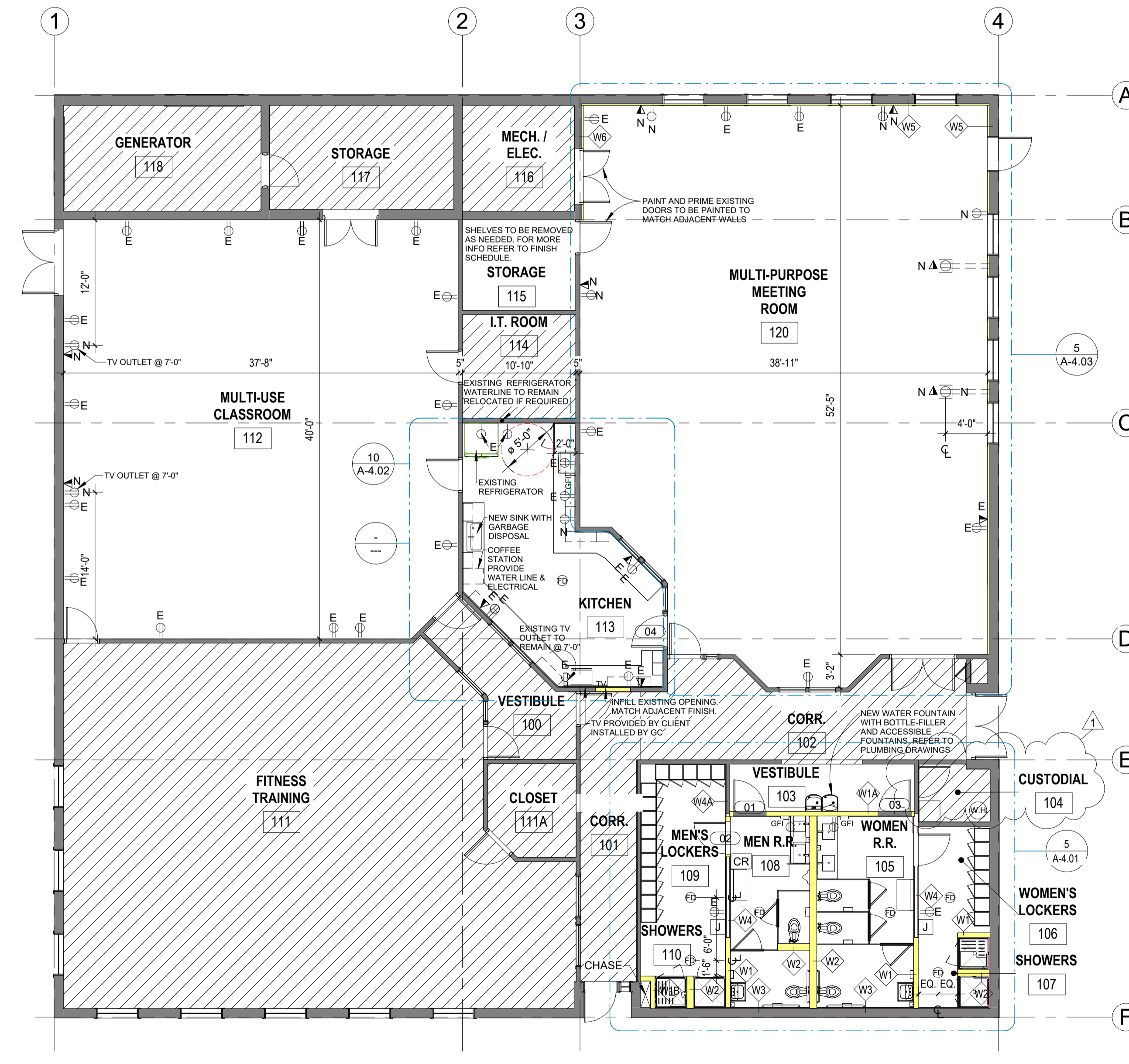
ALL INTERIOR DIMENSIONS NOTED ARE FROM FINISH FACE OF WALL TO FINISH FACE OF WALL UNLESS NOTED OTHERWISE.

ALL INTERIOR DOORS WILL BE LOCATED 4" FROM FINISH FACE GWB UNLESS NOTED OTHERWISE.

GC TO FIELD VERIFY ALL DIMENSIONS



1 | EXISTING AND DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



2 | FLOOR PLAN
SCALE: 1/8" = 1'-0"



Rick Gonzalez, AIA
President
FL License AR0014172
120 South Olive Ave. Ste. 210,
West Palm Beach, FL 33401
P (561) 659-2383
www.regarchitects.com

DAVID B. FARBER BUILDING
RENOVATION

1050 ROYAL PALM BEACH
BLVD. ROYAL PALM BEACH, FL,
33411

NO.	DATE	DESCRIPTION
1	01/09/25	ADDENDUM #3

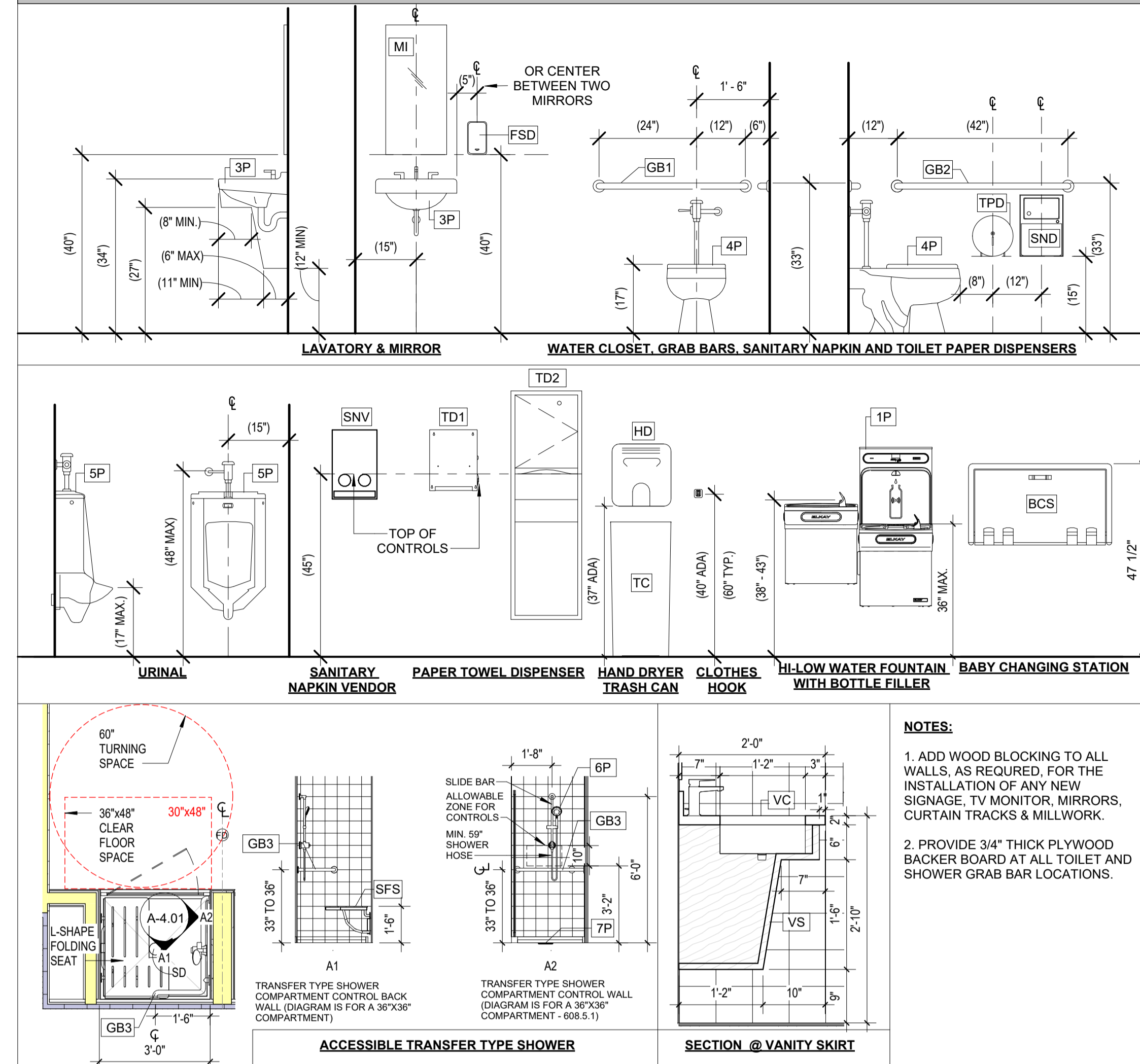
DATE	DATE: 12.13.2024
MODELED	CA
CHECKED	MA/REG
PROJECT #	24009
© REG	2024

OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

DEMO FLOOR PLAN AND FIRST FLOOR PLAN

PERMIT SET

ADA ACCESSIBLE MOUNTING HEIGHTS FOR ADULT



Rick Gonzalez, AIA
President
FL License AR0014172
120 South Olive Ave. Ste. 210,
West Palm Beach, FL 33401
P (561) 659-2383
www.regarchitects.com

DAVID B. FARBER BUILDING
RENOVATION

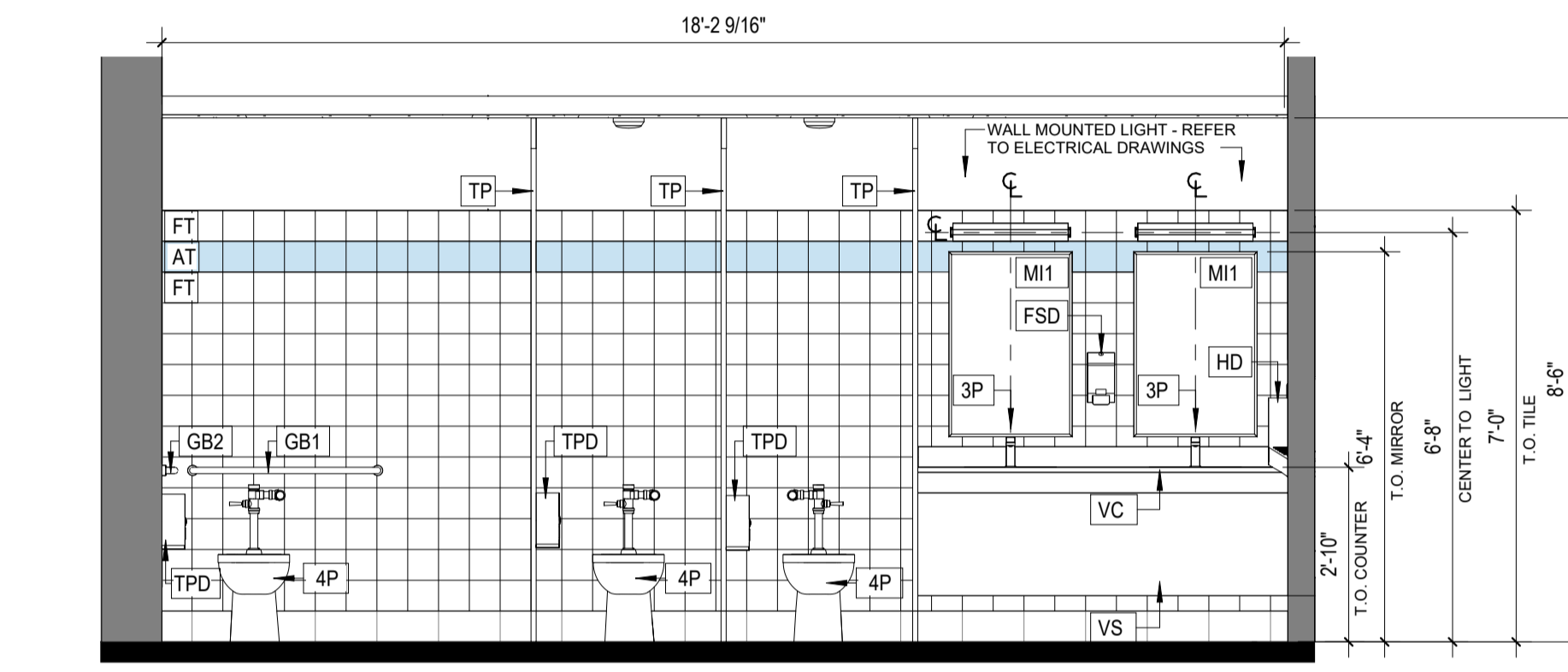
1050 ROYAL PALM BEACH
BLVD. ROYAL PALM BEACH, FL,
33411

1 MEN RR ELEVATION

A-4.01 SCALE: 3/8" = 1'-0"

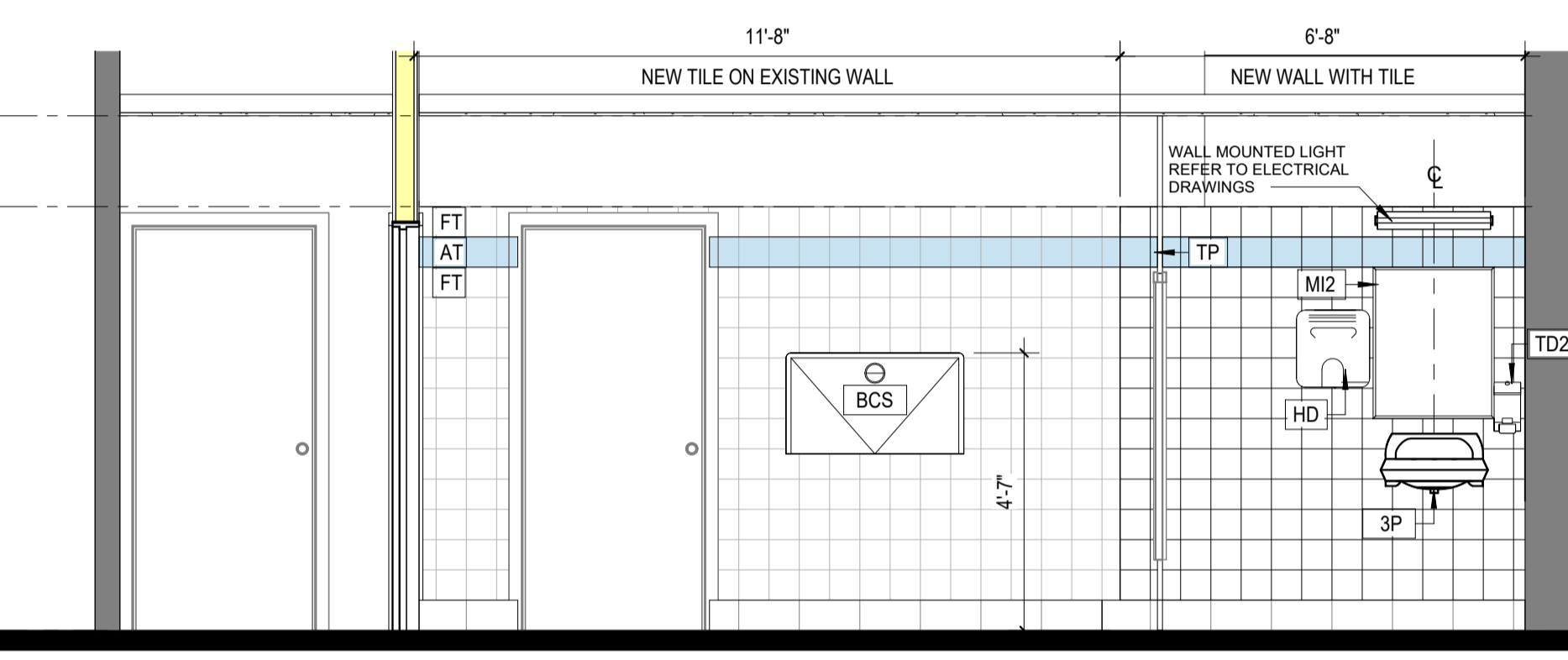
2 MEN RR ELEVATION

A-4.01 SCALE: 3/8" = 1'-0"



3 WOMEN RR ELEVATION

A-4.01 SCALE: 3/8" = 1'-0"



4 WOMEN RR ELEVATION 4

A-4.01 SCALE: 3/8" = 1'-0"

ACCESSORY MOUNTING NOTES

- HOT WATER AND DRAIN PIPES EXPOSED UNDER SINKS SHALL BE INSULATED TO PROTECT AGAINST CONTACT THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER SINKS
- INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE MOUNTED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR WITH THE WORDS "MEN" AND "WOMEN" PLACED DIRECTLY BELOW THE PICTOGRAMS. COMPLY WITH THE APPLICABLE PROVISIONS OF SECTION 4.30 OF THE F.A.C. FOR B.C., OCTOBER 1997 EDITION. THE DIMENSIONS OF THE PICTOGRAM SHALL BE IN ACCORDANCE WITH THE FLORIDA ACCESSIBILITY CODE.

HANDRAILS, GRAB BARS, AND TUB SHOWER SEATS STRUCTURAL STRENGTH

- BENDING STRESS IN A GRAB BAR OR SEAT INDUCED BY THE MAXIMUM BENDING MOMENT FROM THE APPLICATION OF 250 lbf FOR GRAB BAR AND 360 lbf FOR SEAT SHALL BE LESS THAN THE ALLOWABLE SHEAR STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAT.
- SHEAR STRESS INDUCED IN A GRAB BAR OR SEAT BY THE APPLICATION OF 250 lbf FOR GRAB BAR AND 360 lbf FOR SEAT SHALL BE LESS THAN THE ALLOWABLE SHEAR STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAT. IF THE CONNECTION BETWEEN THE GRAB BAR OR SEAT AND ITS MOUNTING BRACKET OR OTHER SUPPORT IS CONSIDERED TO BE FULLY RESTRAINED, THEN DIRECT AND TORSIONAL SHEAR STRESSES SHALL BE TOTALED FOR THE COMBINED SHEAR STRESS, WHICH SHALL NOT EXCEED THE ALLOWABLE SHEAR STRESS.

CONTROLS

- SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 lbf SHEAR FORCE INDUCED IN A FASTENER OR MOUNTING DEVICE FROM THE APPLICATION OF 250 lbf SHALL BE LESS THAN THE ALLOWABLE LATERAL LOAD OF EITHER THE FASTENER OR MOUNTING DEVICE OR THE SUPPORTING STRUCTURE, WHICH EVER IS THE SMALLER ALLOWABLE LOAD.
- TENSION FORCE INDUCED IN A FASTENER BY A DIRECT TENSION FORCE OF 250 lbf PLUS THE MAX. MOMENT FROM THE APPLICATION OF 250 lbf SHALL BE LESS THAN ALLOWABLE WITHDRAWAL LOAD BETWEEN THE FASTENER AND THE SUPPORTING STRUCTURE GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTING

TILE LEGEND

MARK	DESCRIPTION
AT	ACCENT TILE
FT	FIELD TILE

NOTE: REFER TO SHEET A-5.02 FINISH SCHEDULE FOR SPECIFICATIONS

PLUMBING SCHEDULE

MARK	DESCRIPTION	PROVIDE BY	LOCATION
1P	BOTTLE FILLING STATION WITH FILTERED BI-LEVEL ADA COOLER, STAINLESS STEEL	GC	VESTIBULE
2P	UNDERMOUNTED SINGLE BOWL KITCHEN SINK AND SINK FAUCET WITH THREE FUNCTION SPRAY - BOTH ADA	GC	KITCHEN
3P	LAVATORY SINK / FAUCET - ADA	GC	BATHROOM
4P	COMMERCIAL FLUSHOMETER TOILET, 1.28 GPF - ADA	GC	BATHROOM
5P	COMMERCIAL URINAL - ADA	GC	BATHROOM
6P	SHOWER HEAD & HAND HELD COMBO - ADA	GC	BATHROOM
7P	SHOWER DRAIN	GC	BATHROOM / SHOWER
8P	"FD" FLOOR DRAIN	GC	BATHROOM / LOCKER
9P	FOOD WASTE DISPOSER AT KITCHEN SINK	GC	KITCHEN

NOTE: REFER TO PLUMBING DRAWINGS FOR SPECIFICATIONS

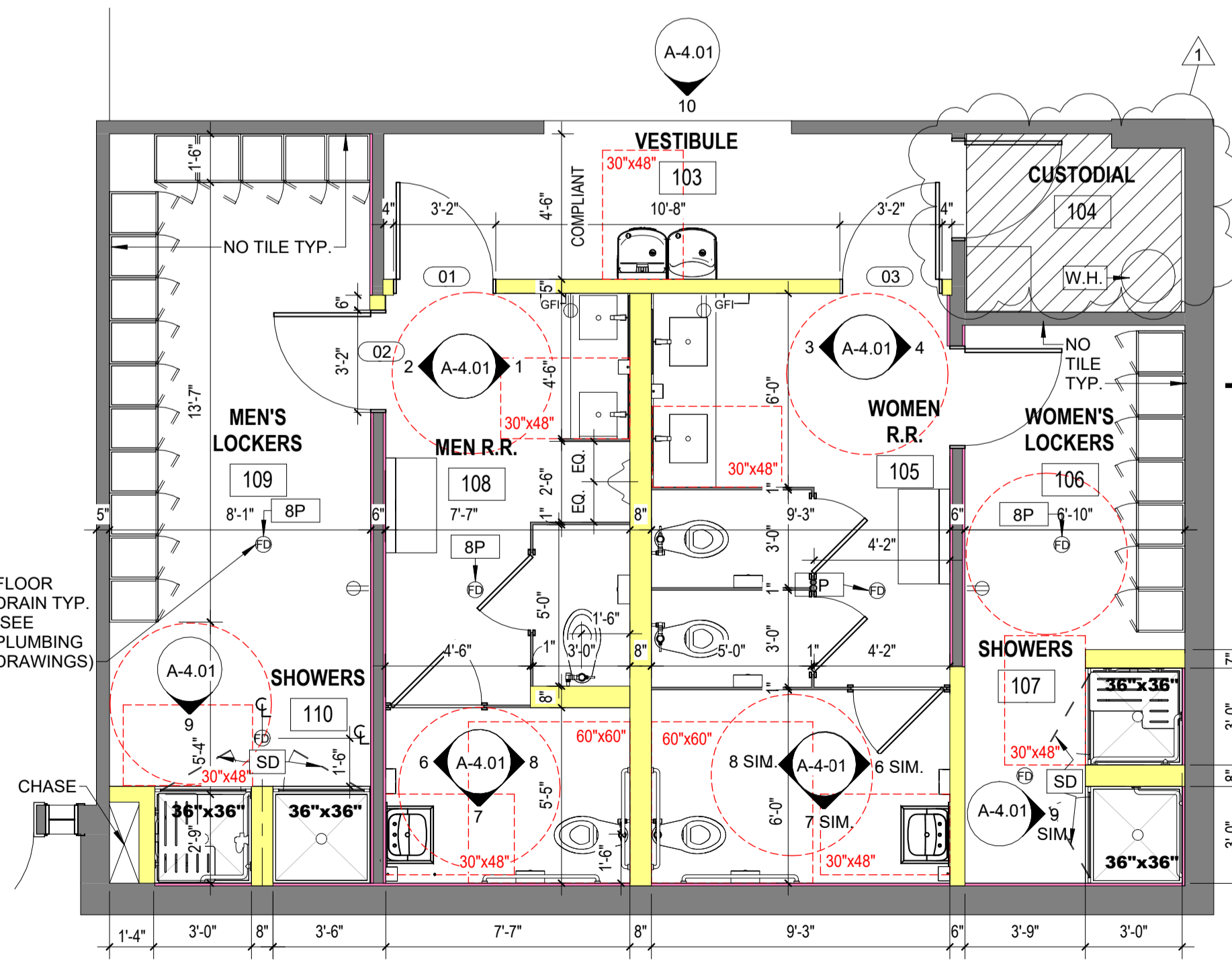
BATHROOM ACCESSORY SCHEDULE

MARK	DESCRIPTION
MI1	18"Wx36"H MIRROR WITH STAINLESS STEEL CHANNEL FRAME. B-165 1836 BY BOBRICK
MI2	18"Wx30"H ANGLE-FRAME TWO POSITION TILT STAINLESS STEEL MIRROR. B-294 1830 BY BOBRICK
SD	SHOWER DOOR TO BE SOLID (HDPE) WITH HOOKS ON BOTH SIDES OF DOOR
SFS	"L" SHAPE SHOWER FOLDING SEAT ONE PIECE SOLID PHENOLIC FOLDING WITH STAINLESS STEEL FRAME SQUARE TUBING B-5181 BY BOBRICK.
GB1	1 1/2" DIAMETER STAINLESS STEEL TWO WALL GRAB BARS WITH SNAP FLANGE - 36" LONG. B-6806 BY BOBRICK
GB2	1 1/2" DIAMETER STAINLESS STEEL TWO WALL GRAB BARS WITH SNAP FLANGE - 42" LONG. B-6806 BY BOBRICK
GB3	1 1/2" DIAMETER STAINLESS STEEL TWO WALL GRAB BARS WITH SNAP FLANGE - "L" SHAPE - B-6861 BY BOBRICK
HD	XLERATOR HAND DRYER XL-SB BRUSHED STAINLESS STEEL
TC	COMMERCIAL RESTROOM TRASH CAN, FREE STANDING, BRADLEY 377-363700, STAINLESS STEEL
FSD	CONTURA-SERIES SURFACE-MOUNTED SOAP DISPENSER. B-4112 BY BOBRICK
TPD	TOILET PAPER DISPENSER (3 - ROLLS) : TORX H-10023
BCS	HORIZONTAL WALL MOUNTED BABY CHANGING STATION, HORIZONTAL RECESSED WITH STAINLESS STEEL FLANGE: KB100-05ST, COLOR WHITE GRANITE BY KOALA KARE PRODUCTS
VC	VANITY COUNTERTOP CORIAN QUARTZ 3/4" THICK, 1/2" EASED EDGE, COLOR: SNOW FLURRY.
VS	VANITY SKIRT MILLWORK FORMICA #8843-WR, COLOR: NATURAL ASH WOODBRUSH FINISH.
TP	SOLID HDPE TOILET PARTITION BY HINY HIDERS, COLOR: SEE FINISH SPECS
UP	SOLID HDPE URINARY PARTITION BY HINY HIDERS, COLOR: SEE FINISH SPECS
WH	EXISTING WATER HEATER TO REMAIN

NOTE: VERIFY SCHEDULE QUANTITIES WITH DRAWINGS. WHERE THERE IS A CONFLICT, QUANTITIES SHOWN IN DRAWINGS TAKE PRECEDENT.

NOTES

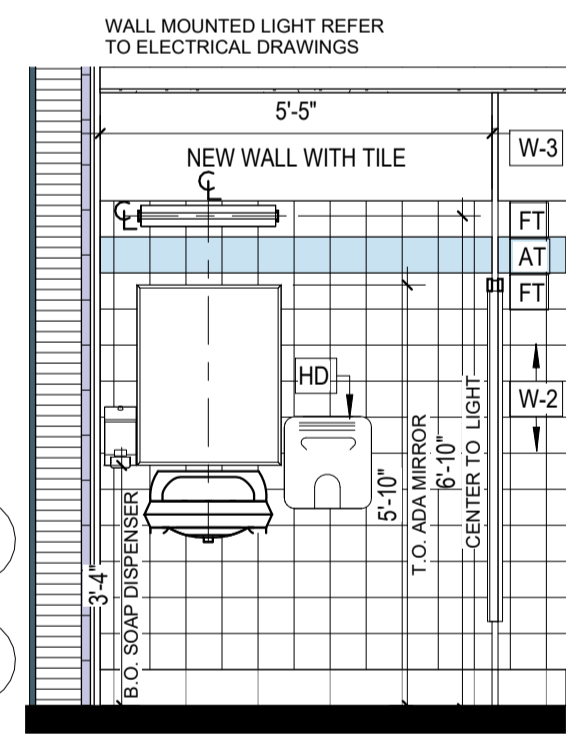
- REFER TO SHEET A-4.04 FOR ACCESSIBILITY NOTES.
- REFER TO SHEET A-5.02 FOR FINISH SCHEDULE.



FIELD VERIFY ALL DIMENSIONS & SITE CONDITIONS PRIOR TO ANY FABRICATION & CONSTRUCTION

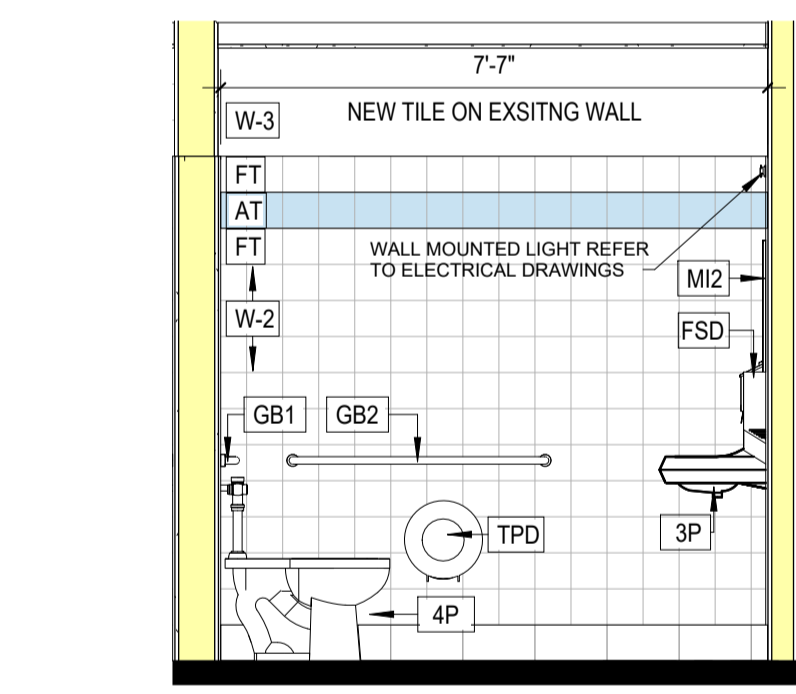
5 RESTROOM PLAN - ENLARGED

A-4.01 SCALE: 1/4" = 1'-0"



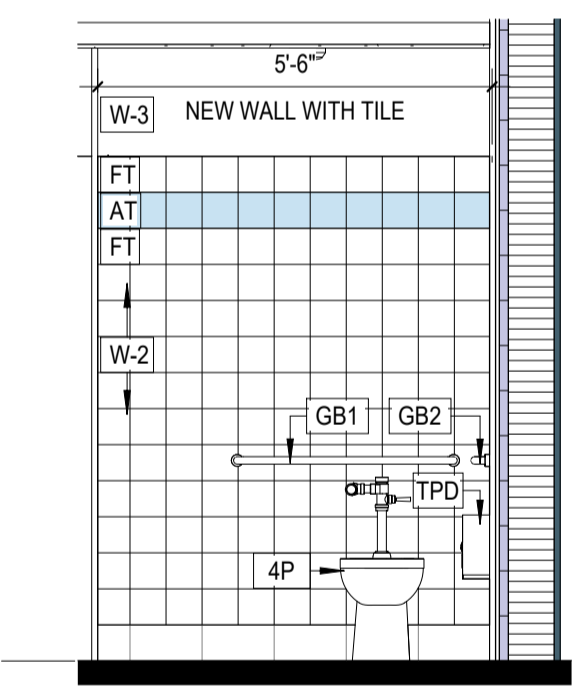
6 ADA RR ELEVATION

A-4.01 SCALE: 3/8" = 1'-0"



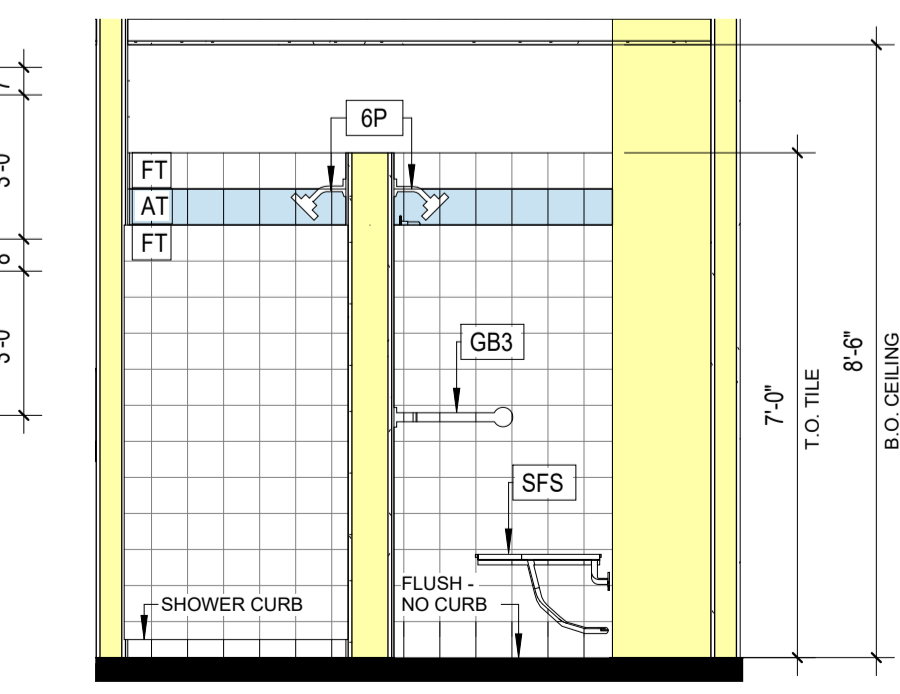
7 ADA RR ELEVATION

A-4.01 SCALE: 3/8" = 1'-0"



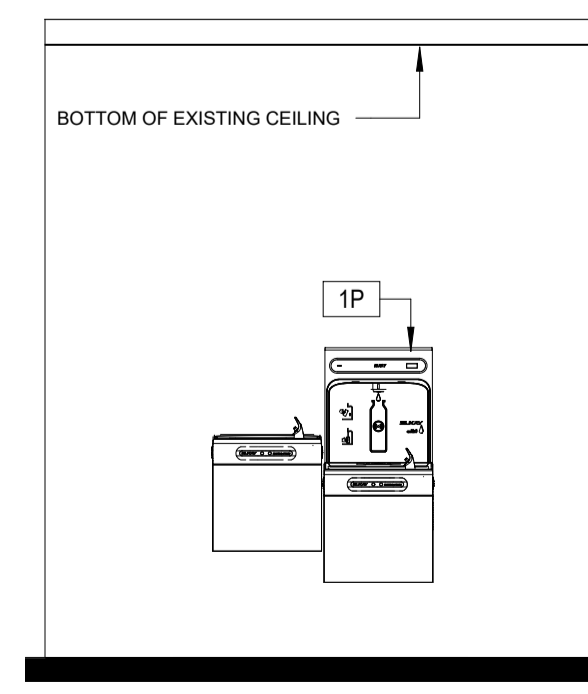
8 ADA RR ELEVATION

A-4.01 SCALE: 3/8" = 1'-0"



9 SHOWERS ELEVATION 9

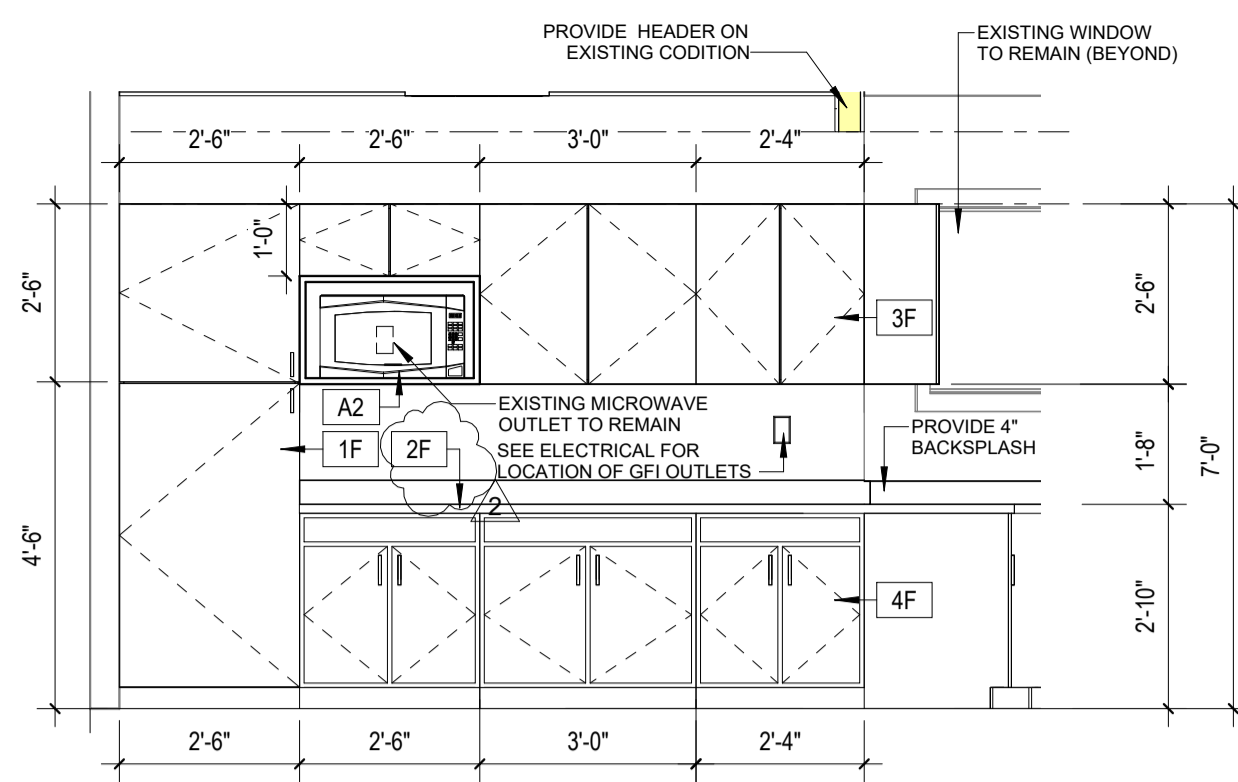
A-4.01 SCALE: 3/8" = 1'-0"



10 WATER FOUNTAIN

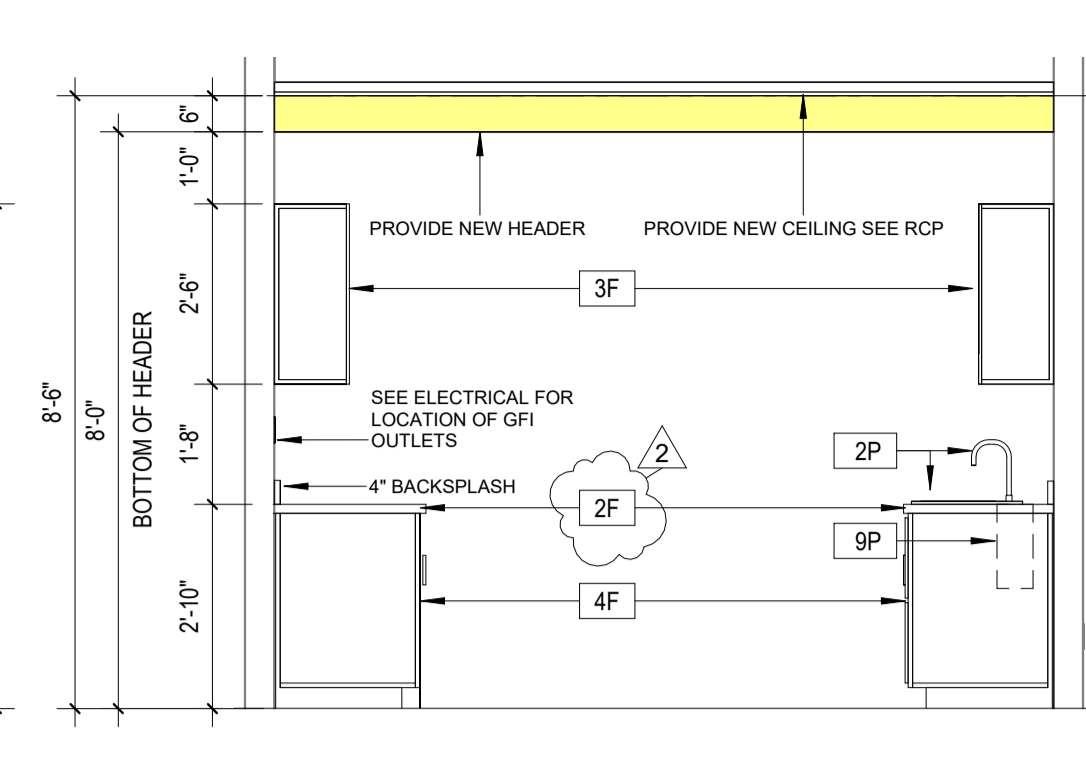
A-4.01 SCALE: 3/8" = 1'-0"

PERMIT SET



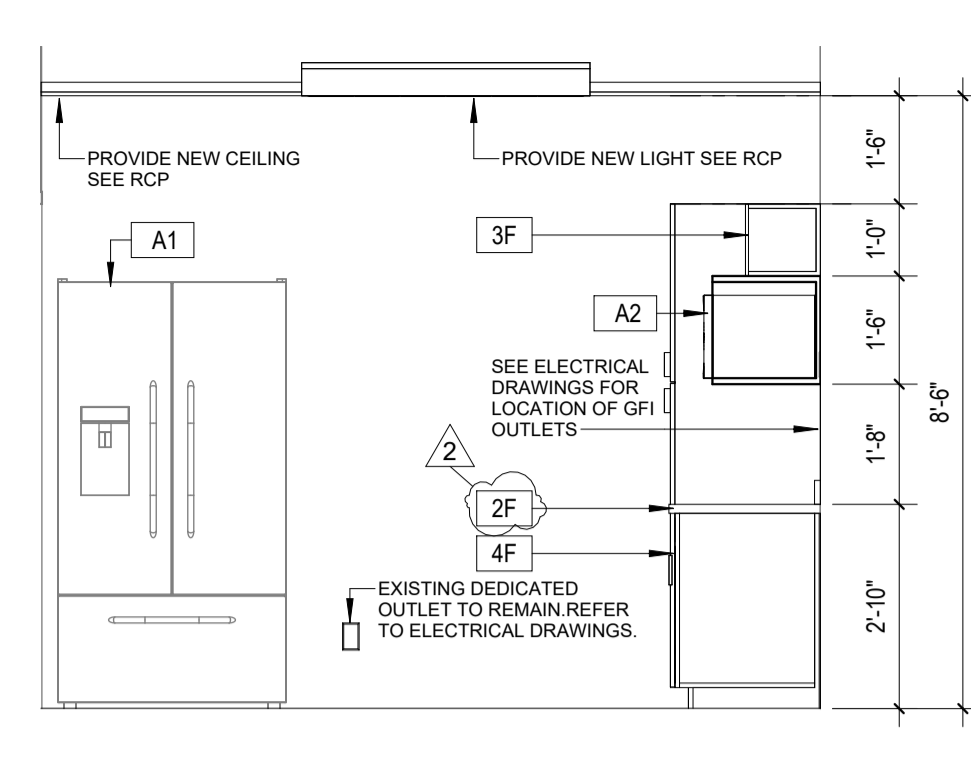
1 KITCHEN ELEVATION

A-4.02 SCALE: 3/8" = 1'-0"



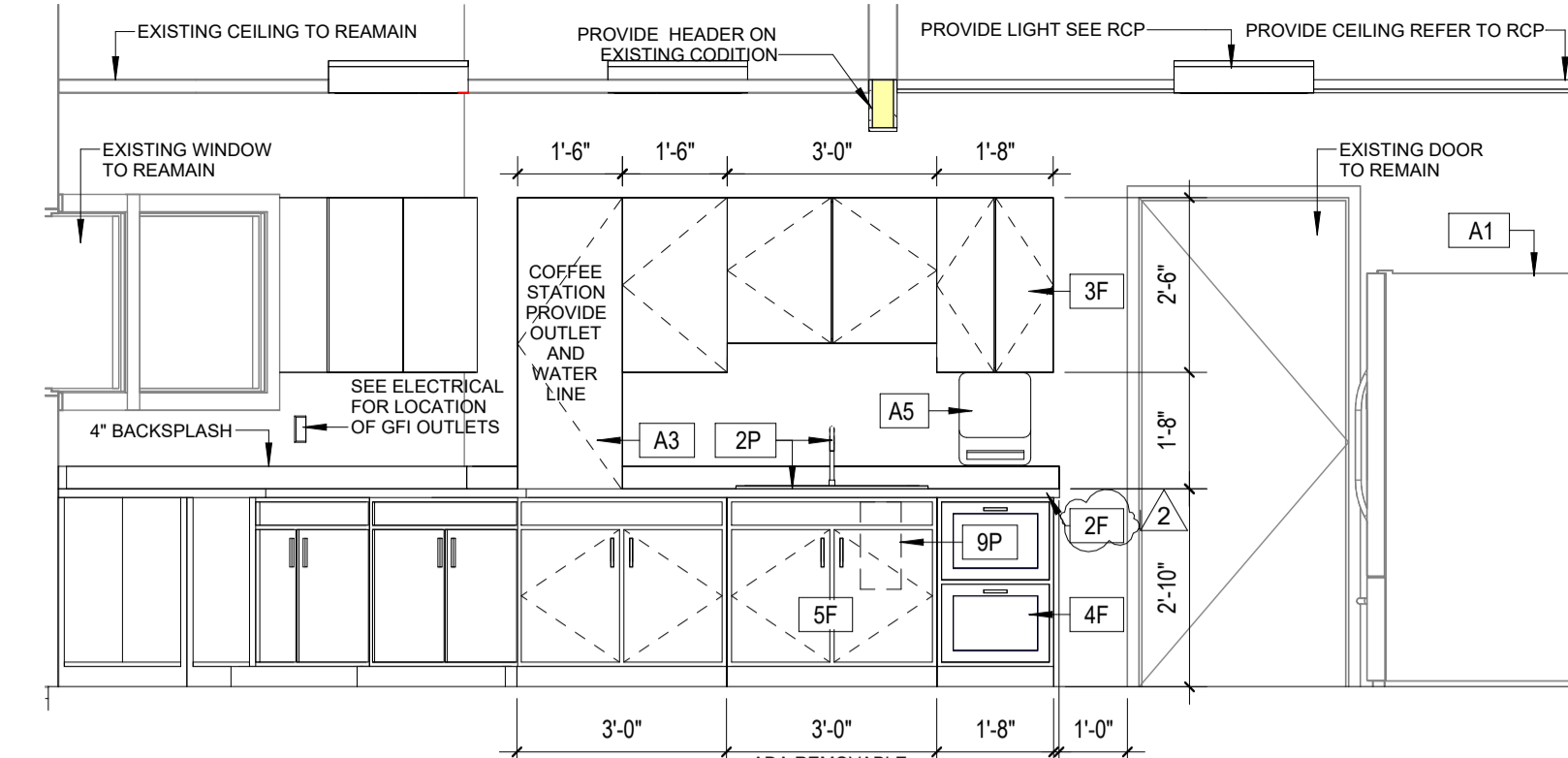
2 KITCHEN ELEVATION

A-4.02 SCALE: 3/8" = 1'-0"



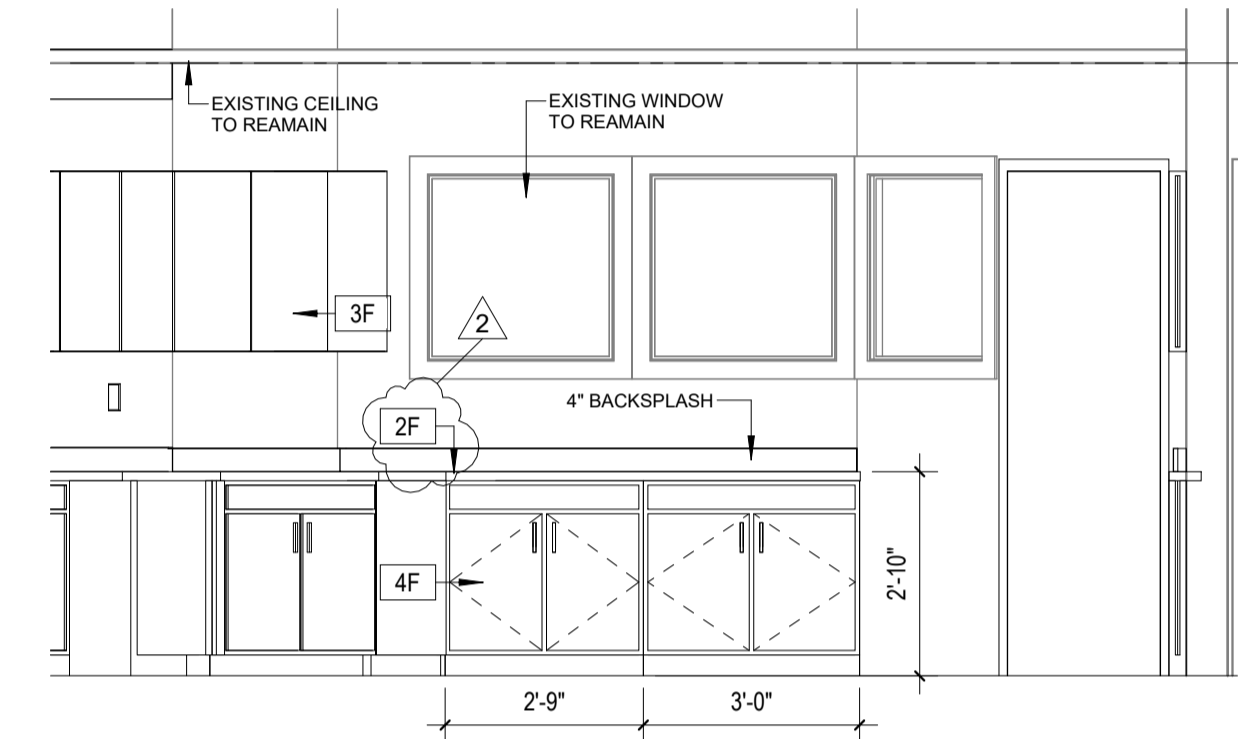
3 KITCHEN ELEVATION

A-4.02 SCALE: 3/8" = 1'-0"



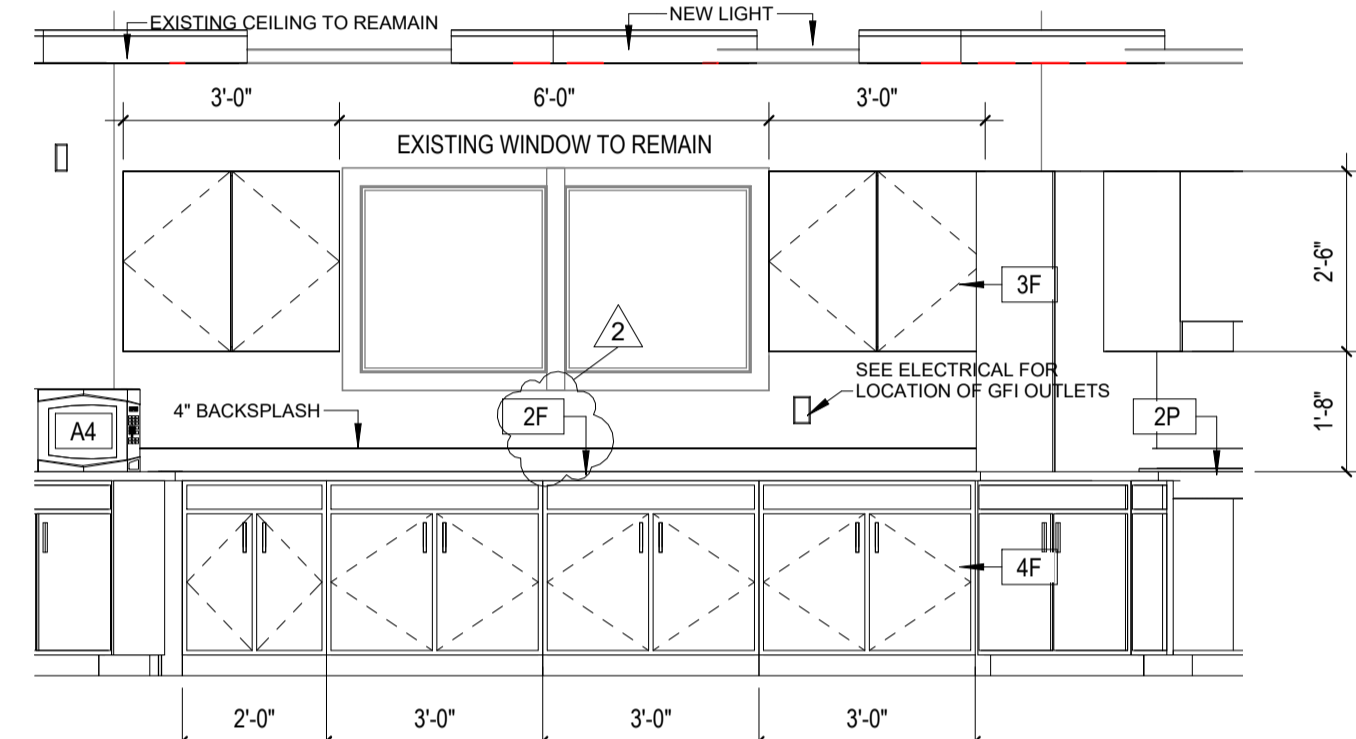
4 KITCHEN ELEVATION

A-4.02 SCALE: 3/8" = 1'-0"



5 KITCHEN ELEVATION

A-4.02 SCALE: 3/8" = 1'-0"



6 KITCHEN ELEVATION

A-4.02 SCALE: 3/8" = 1'-0"

PLUMBING SCHEDULE			
MARK	DESCRIPTION	PROVIDE BY	LOCATION
1P	BOTTLE FILLING STATION WITH FILTERED BI-LEVEL ADA COOLER, STAINLESS STEEL	GC	VESTIBULE
2P	UNDERMOUNTED SINGLE BOWL KITCHEN SINK AND SINK FAUCET WITH THREE FUNCTION SPRAY - BOTH ADA	GC	KITCHEN
3P	LAVATORY SINK / FAUCET - ADA	GC	BATHROOM
4P	COMMERCIAL FLUSHMETER TOILET, 1.28 GPF - ADA	GC	BATHROOM
5P	COMMERCIAL URINAL - ADA	GC	BATHROOM
6P	SHOWER HEAD & HAND HELD COMBO - ADA	GC	BATHROOM
7P	SHOWER DRAIN	GC	BATHROOM / SHOWER
8P	"FD" FLOOR DRAIN	GC	BATHROOM / LOCKER
9P	FOOD WASTE DISPOSER AT KITCHEN SINK	GC	KITCHEN

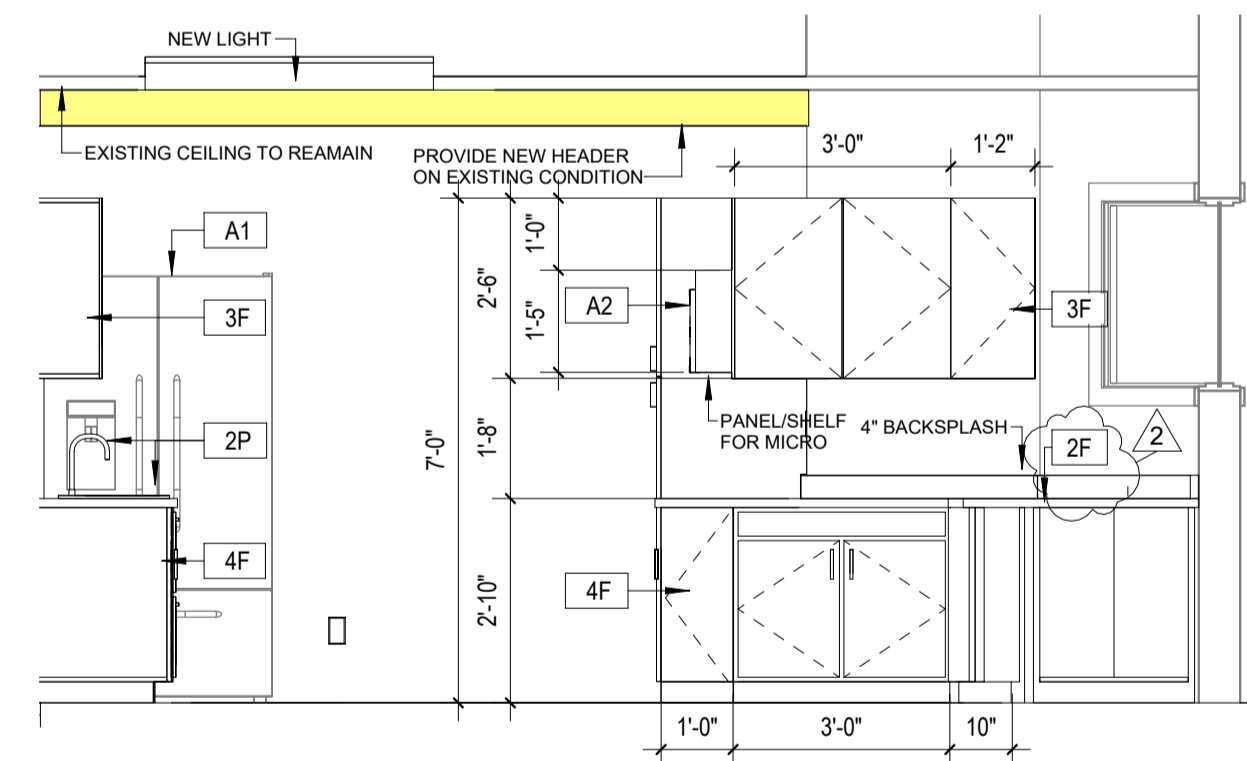
NOTE: REFER TO PLUMBING DRAWINGS FOR SPECIFICATIONS

FURNITURE AND CABINETRY SCHEDULE			
MARK	DESCRIPTION	PROVIDE BY	LOCATION
3F	30" W X 24" D PANTRY	GC	KITCHEN
2F	COUNTERTOP - WILSONART ENGINEERED SURFACE-QUARTZ-CALACATTA OLYMPOS - Q4067	GC	KITCHEN
3F	KITCHEN UPPER CABINETS - WILSONART - BROOKFIELD ELM 8261	GC	KITCHEN
4F	KITCHEN BASE CABINETS - WILSONART - BROOKFIELD ELM 8261	GC	KITCHEN
5F	KITCHEN BASE CABINET TO BE REMOVABLE FOR ACCESSIBILITY	GC	KITCHEN
1E	TV DIGITAL SCREEN	GC	KITCHEN

APPLIANCES SCHEDULE			
MARK	DESCRIPTION	PROVIDE BY	LOCATION
A1	EXISTING REFRIGERATOR		KITCHEN
A2	EXISTING MICROWAVE		KITCHEN
A3	NEW COFFEE MACHINE	BY OWNER	KITCHEN
A4	NEW MICROWAVE	BY OWNER	KITCHEN
A5	NEW AUTOMATIC PAPER TOWEL DISPENSER BOBRICK B-72974	BY OWNER	KITCHEN

NOTES

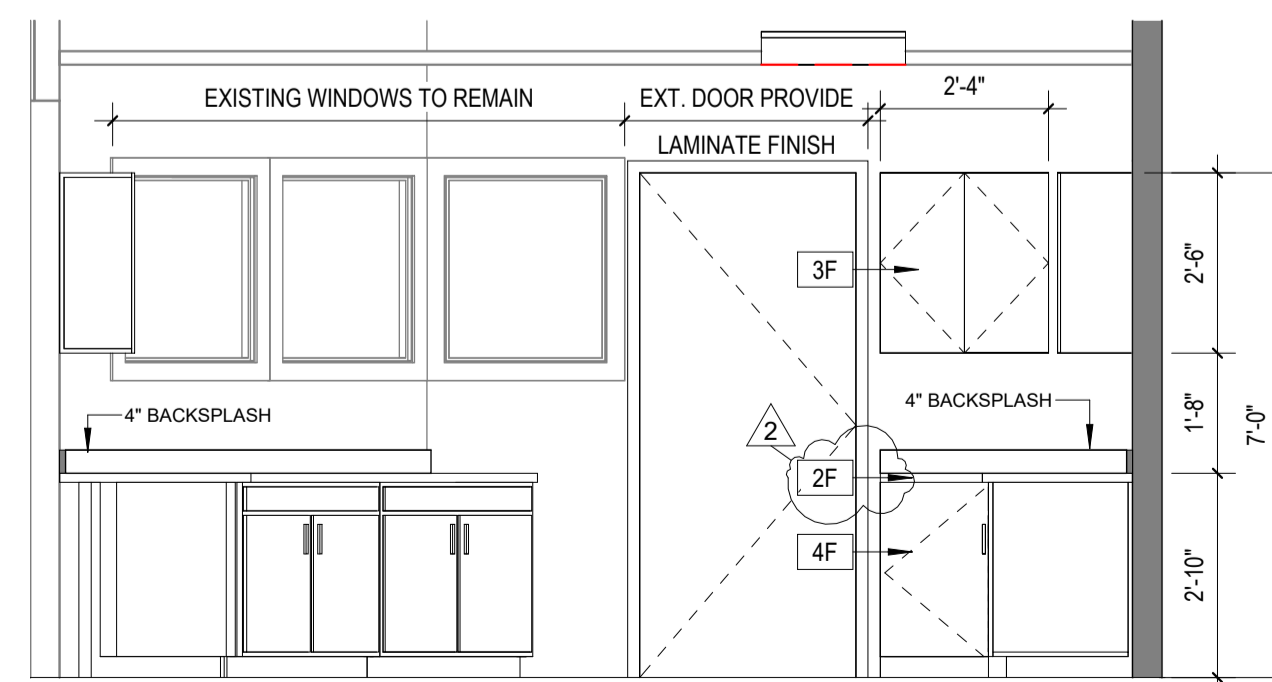
- REFER TO SHEET A-4.04 FOR ACCESSIBILITY NOTES.
- REFER TO SHEET A-5.02 FOR FINISH SCHEDULE.



7 KITCHEN ELEVATION

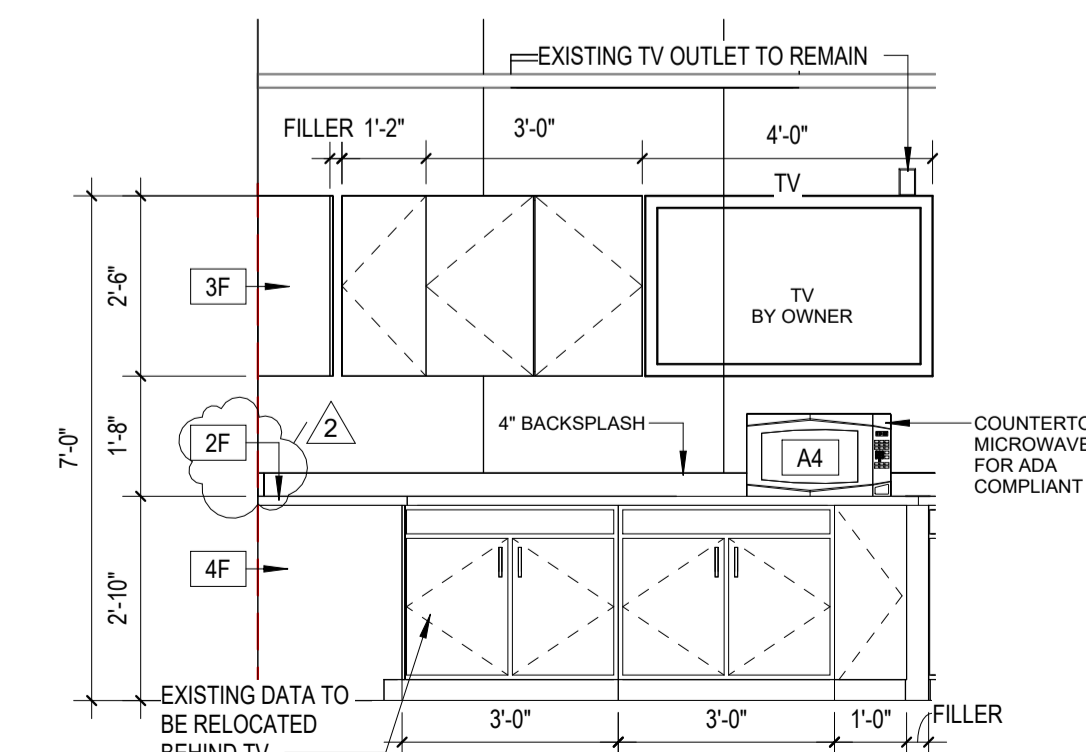
A-4.02 SCALE: 3/8" = 1'-0"

MILLWORK NOTES	
1.	ALL MILLWORK SHALL CONFORM TO THE STANDARDS DEFINED BY A.W.I. AS 'CUSTOM GRADE', INCLUDING SIZES OF MEMBERS AND TOLERANCES.
2.	PROVIDE SUB-TOP CONSTRUCTION BRACING / REINFORCEMENT FOR ALL STONE COUNTERTOPS, TYP.
3.	PROVIDE SOLID WOOD BLOCKING IN WALL AS REQUIRED FOR ALL INSTALLED ITEMS (UPPER CABINETS, FIXTURES, ACCESSORIES, ETC.)
4.	FILLER STRIPS SHALL BE SCRIBED TO CONFORM TO THE ADJACENT WALL SURFACE
5.	PROVIDE METAL SUPPORT BRACKETS UNDER OPEN COUNTERS, U.N.O.
6.	ALL MILLWORK TO BE SHIMMED AS REQUIRED FOR LEVEL INSTALLATION.
7.	COORDINATE MILLWORK WITH ALL ELECTRICAL OUTLETS AND EQUIPMENT LOCATIONS.
8.	ALL CONCEALED SURFACES TO BE WHITE MELAMINE, U.N.O.
9.	ALL BASE CABINETS TO HAVE ADJUSTABLE SHELF, 2/3 DEPTH. ALL TOP CABINETS TO HAVE 2 ADJUSTABLE SHELVES, FULL DEPTH. SHELF SUPPORTS SHALL BE WITH CLIPS INTO PRE-DRILLED HOLES AT 2" ON CENTER.
10.	HINGES SHALL BE CONCEALED STYLE, SELF / SOFT-CLOSING, WITH 110 DEGREE OPENING. DRAWER SLIDES SHALL BE FULL EXTENSION SIDE-MOUNTED DRAWER GLIDES WITH 75 POUND CAPACITY, NYLON BALL-BEARING ROLLERS; POSITIVE PULL-OUT STOP, SELF / SOFT-CLOSING AND LIFT-OUT FEATURE.
11.	ALL DRAWERS AND DOORS SHALL BE SUPPLIED WITH 3" WIRE PULLS, WITH SATIN STAINLESS STEEL FINISH (#630), U.N.O.
12.	MILLWORK / CABINETRY:
	• PROVIDE CABINETRY / MILLWORK SHOP DRAWINGS FOR REVIEW BY ARCHITECT AND OWNER PRIOR TO FABRICATION
	• FIELD VERIFY ALL DIMENSIONS
	• VERIFY CABINETRY OPENINGS WITH APPLIANCE / EQUIPMENT MANUFACTURER
	• PROVIDE STANDARD BEAD OF CLEAR PAINTABLE SEALANT AT ALL EXPOSED EDGES OF MILLWORK (i.e. BACKSPLASH, COUNTER-WALL INTERSECTIONS)
	• SCRIBE COUNTERS TO WALL WHERE NO BACKSPLASH IS INDICATED



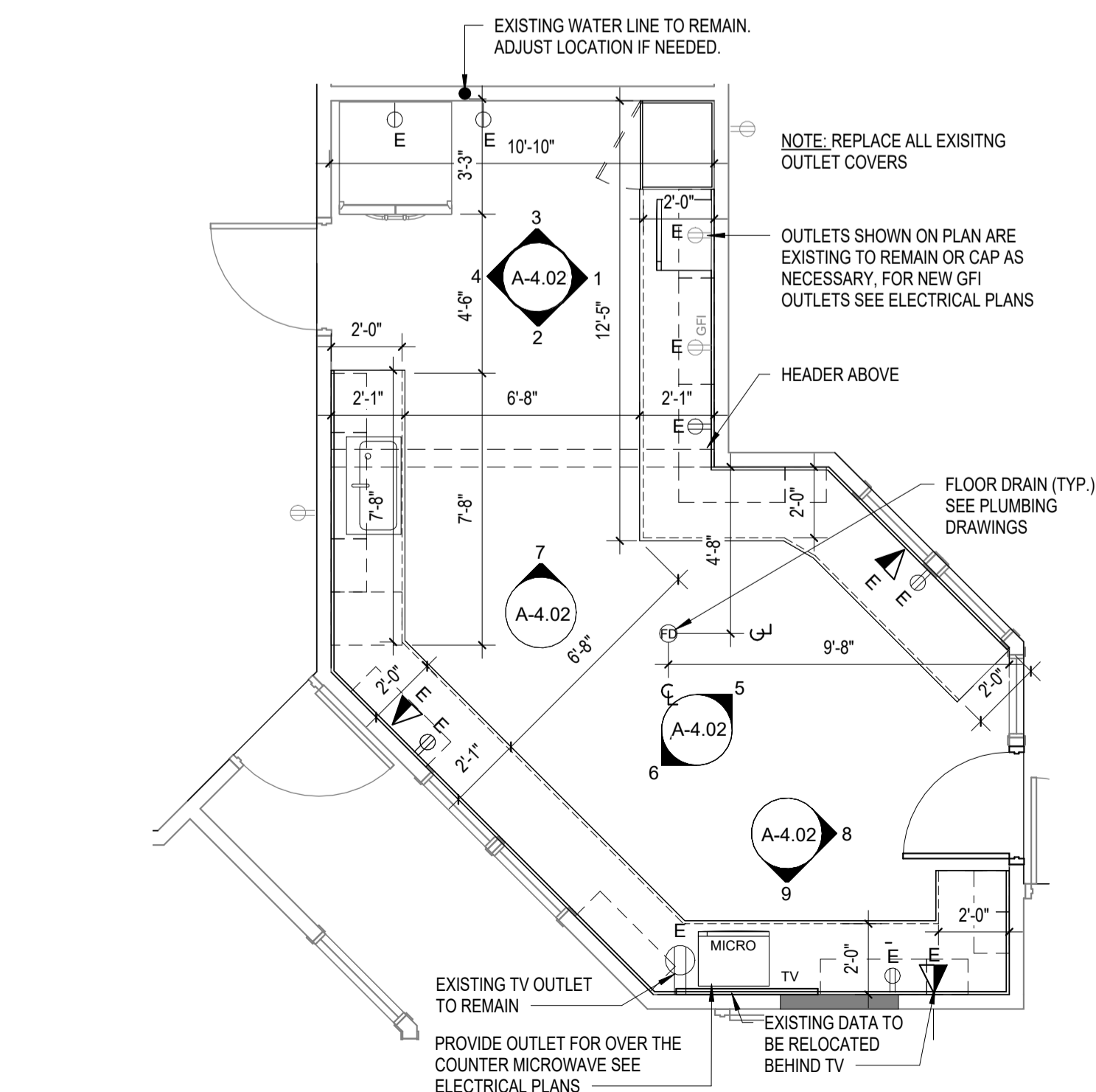
8 KITCHEN ELEVATION

A-4.02 SCALE: 3/8" = 1'-0"



9 KITCHEN ELEVATION

A-4.02 SCALE: 3/8" = 1'-0"



10 KITCHEN FLOOR PLAN - ENLARGED

A-4.02 SCALE: 1/4" = 1'-0"



PLUMBING SCHEDULE

MARK	DESCRIPTION	PROVIDE BY	LOCATION
1P	BOTTLE FILLING STATION WITH FILTERED BI-LEVEL ADA COOLER, STAINLESS STEEL	GC	VESTIBULE
2P	UNDERMOUNTED SINGLE BOWL KITCHEN SINK AND SINK FAUCET WITH THREE FUNCTION SPRAY - BOTH ADA	GC	KITCHEN
3P	LAVATORY SINK / FAUCET - ADA	GC	BATHROOM
4P	COMMERCIAL FLUSHMETER TOILET, 1.28 GPF - ADA	GC	BATHROOM
5P	COMMERCIAL URINAL - ADA	GC	BATHROOM
6P	SHOWER HEAD & HAND HELD COMBO - ADA	GC	BATHROOM
7P	SHOWER DRAIN	GC	BATHROOM / SHOWER
8P	"FD" FLOOR DRAIN	GC	BATHROOM / LOCKER
9P	FOOD WASTE DISPOSER AT KITCHEN SINK	GC	KITCHEN

NOTE: REFER TO PLUMBING DRAWINGS FOR SPECIFICATIONS

FURNITURE AND CABINETRY SCHEDULE

MARK	DESCRIPTION	PROVIDE BY	LOCATION
3F	30" W X 24" D PANTRY	GC	KITCHEN
2F	COUNTERTOP - WILSONART ENGINEERED SURFACE-QUARTZ-CALACATTA OLYMPOS - Q4067	GC	KITCHEN
3F	KITCHEN UPPER CABINETS - WILSONART - BROOKFIELD ELM 8261	GC	KITCHEN
4F	KITCHEN BASE CABINETS - WILSONART - BROOKFIELD ELM 8261	GC	KITCHEN
5F	KITCHEN BASE CABINET TO BE REMOVABLE FOR ACCESSIBILITY	GC	KITCHEN
1E	TV DIGITAL SCREEN	GC	KITCHEN

MILLWORK NOTES

1.	ALL MILLWORK SHALL CONFORM TO THE STANDARDS DEFINED BY A.W.I. AS 'CUSTOM GRADE', INCLUDING SIZES OF MEMBERS AND TOLERANCES.
2.	PROVIDE SUB-TOP CONSTRUCTION BRACING / REINFORCEMENT FOR ALL STONE COUNTERTOPS, TYP.
3.	PROVIDE SOLID WOOD BLOCKING IN WALL AS REQUIRED FOR ALL INSTALLED ITEMS (UPPER CABINETS, FIXTURES, ACCESSORIES, ETC.)
4.	FILLER STRIPS SHALL BE SCRIBED TO CONFORM TO THE ADJACENT WALL SURFACE
5.	PROVIDE METAL SUPPORT BRACKETS UNDER OPEN COUNTERS, U.N.O.
6.	ALL MILLWORK TO BE SHIMMED AS REQUIRED FOR LEVEL INSTALLATION.
7.	COORDINATE MILLWORK WITH ALL ELECTRICAL OUTLETS AND EQUIPMENT LOCATIONS.
8.	ALL CONCEALED SURFACES TO BE WHITE MELAMINE, U.N.O.
9.	ALL BASE CABINETS TO HAVE ADJUSTABLE SHELF, 2/3 DEPTH. ALL TOP CABINETS TO HAVE 2 ADJUSTABLE SHELVES, FULL DEPTH. SHELF SUPPORTS SHALL BE WITH CLIPS INTO PRE-DRILLED HOLES AT 2" ON CENTER.
10.	HINGES SHALL BE CONCEALED STYLE, SELF / SOFT-CLOSING, WITH 110 DEGREE OPENING. DRAWER SLIDES SHALL BE FULL EXTENSION SIDE-MOUNTED DRAWER GLIDES WITH 75 POUND CAPACITY, NYLON BALL-BEARING ROLLERS; POSITIVE PULL-OUT STOP, SELF / SOFT-CLOSING AND LIFT-OUT FEATURE.
11.	ALL DRAWERS AND DOORS SHALL BE SUPPLIED WITH 3" WIRE PULLS, WITH SATIN STAINLESS STEEL FINISH (#630), U.N.O.
12.	MILLWORK / CABINETRY:
	• PROVIDE CABINETRY / MILLWORK SHOP DRAWINGS FOR REVIEW BY ARCHITECT AND OWNER PRIOR TO FABRICATION
	• FIELD VERIFY ALL DIMENSIONS
	• VERIFY CABINETRY OPENINGS WITH APPLIANCE / EQUIPMENT MANUFACTURER
	• PROVIDE STANDARD BEAD OF CLEAR PAINTABLE SEALANT AT ALL EXPOSED EDGES OF MILLWORK (i.e. BACKSPLASH, COUNTER-WALL INTERSECTIONS)
	• SCRIBE COUNTERS TO WALL WHERE NO BACKSPLASH IS INDICATED



Rick Gonzalez, AIA
President

FL License AR0014172
120 South Olive Ave. Ste. 210,
West Palm Beach, FL 33401
P (561) 659-2383
www.regarchitects.com

DAVID B. FARBER BUILDING
RENOVATION

1050 ROYAL PALM BEACH
BLVD. ROYAL PALM BEACH, FL,
33411

NO.	DATE	DESCRIPTION
2	01/10/25	ADDENDUM #3

DATE: 12.13.2024

MODELED: CA

CHECKED: MA/REG

PROJECT #: 24009

© REG 2024

OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

ENLARGED PLAN & INT ELEVATIONS - KITCHEN

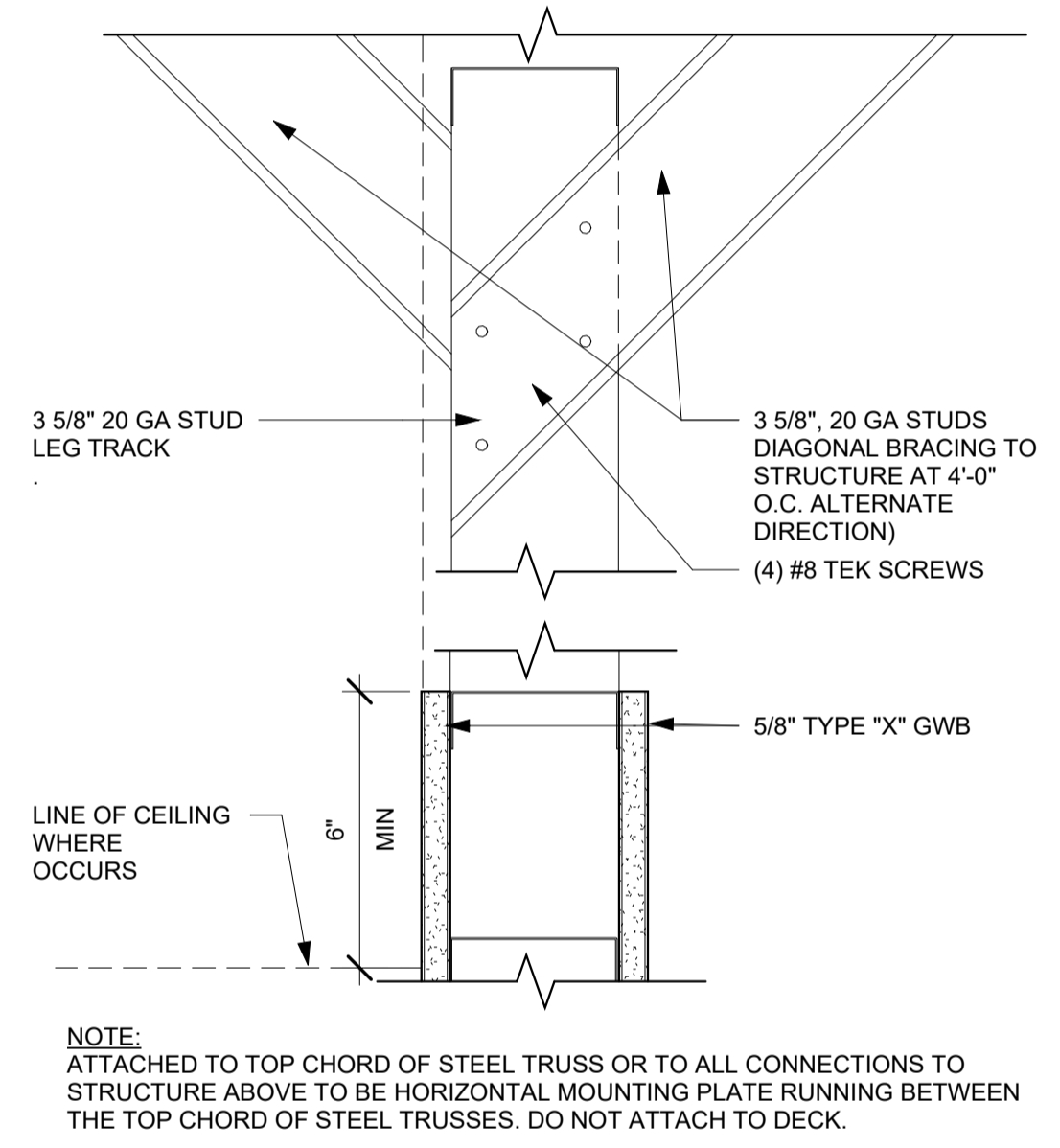
PERMIT SET

WALL TYPES NOTES

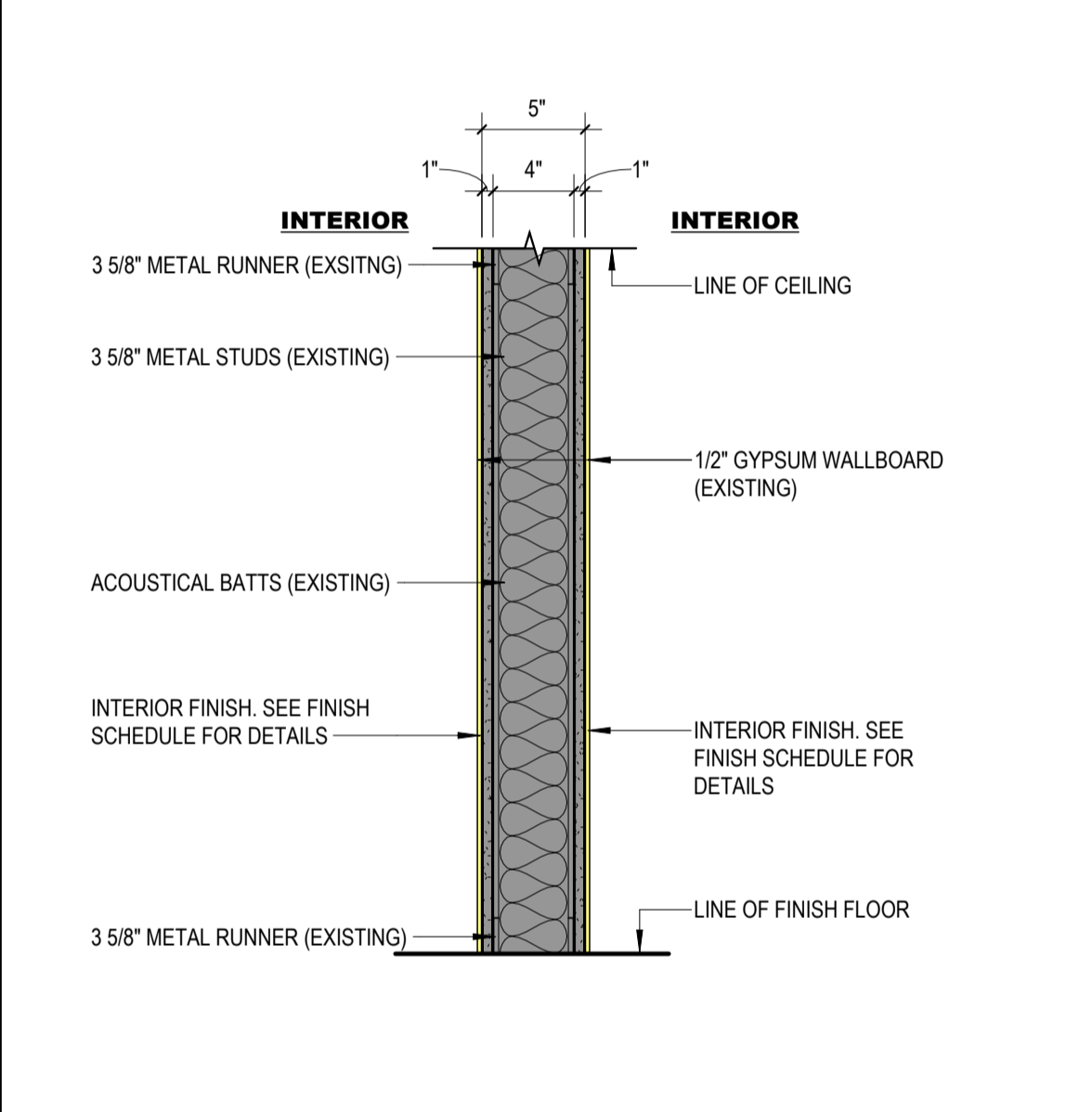
GENERAL NOTES (TYPICAL ALL WALLS)

- WALL TYPES ARE FOR REFERENCE ONLY. CONTRACTOR SHALL CONSTRUCT WALLS ACCORDING TO ASSEMBLY REQUIREMENTS LISTED IN THE REFERENCED TESTING LABORATORY MANUALS AND SHALL PROVIDE ALL ITEMS FOR A COMPLETE INSTALLATION. ROUGH WALL SURFACES SHALL BE READY FOR APPROPRIATE FINISH AS PER FINISH SCHEDULE AND /OR OWNER APPROVED INTERIOR DESIGN DRAWINGS.
- CONTRACTOR SHALL COORDINATE ALL WALL TRADES PRIOR TO LAYING OUT WALLS.
- PROVIDE (RATED) BLOCKING AS REQUIRED FOR MOUNTING FIXTURES, MILLWORK, SIGNAGE, ETC WITHIN PARTITION CAVITY TO MAINTAIN CONSTRUCTION TYPE.
- COORDINATE ALL PLUMBING LINES AND WALL THICKNESS PRIOR TO COMMENCING. NOTIFY ARCHITECT OF ANY DISCREPANCY PRIOR TO START OF WORK.
- CONNECT ALL INTERIOR METAL STUDS WITH TOP & BOTTOM TRACKS CONNECTED TO THE SLABS WITH 0.153" P.A.F. VERIFY WITH STRUCTURAL DRAWINGS.
- FRAME AND BRACE AS REQUIRED AROUND ALL PIPING AND DUCTWORK TO MAINTAIN WALL/PARTITION STRUCTURAL AND FIRE RATING STANDARDS.
- 1" MIN. COMPRESSIBLE FILLER AT THE TOP OF FIRE RATED CONCRETE BLOCK WALLS SHALL BE FIRE-SAFING INSULATION WITH A FIRE-STOP SEALANT ON BOTH SIDES.
- PROVIDE 20 GA. METAL STUD PARTITIONS AT WALLS WITH WALL HUNG FIXTURE, CABINETRY, OR WHERE FIRE RATING ASSEMBLY REQUIRES IT. PROVIDE GROSS BRACING / BLOCKING AND LATERAL TIES FOR SUPPORTING LAV., COUNTERS, RESTROOM ACCESSORIES, H.C. SUPPORTS, ETC.
- TYPICAL PARTITION REQUIREMENTS- 25 GA. MIN. @ 24" O.C. UNLESS OTHERWISE NOTED.
 - 4" STUD PARTITION WITH FINISH UP TO STRUCTURE:
 - UNDER 15 FT. HEIGHT: 25 GAUGE
 - OVER 15 FT. HEIGHT: 22 GAUGE
 - PARTITION WITH FINISH 6" ABOVE CEILING ONLY (EXTEND EACH STUD TO STRUCTURE)
 - 4" STUDS LESS THAN 15 FT. HEIGHT: 25 GAUGE
 - 4" STUDS OVER 15FT HEIGHT: 22 GAUGED W/ 20 GA., 4" BRACING AT 45 DEGREES, AT 6" ABOVE CEILING, AT 32" O/C.

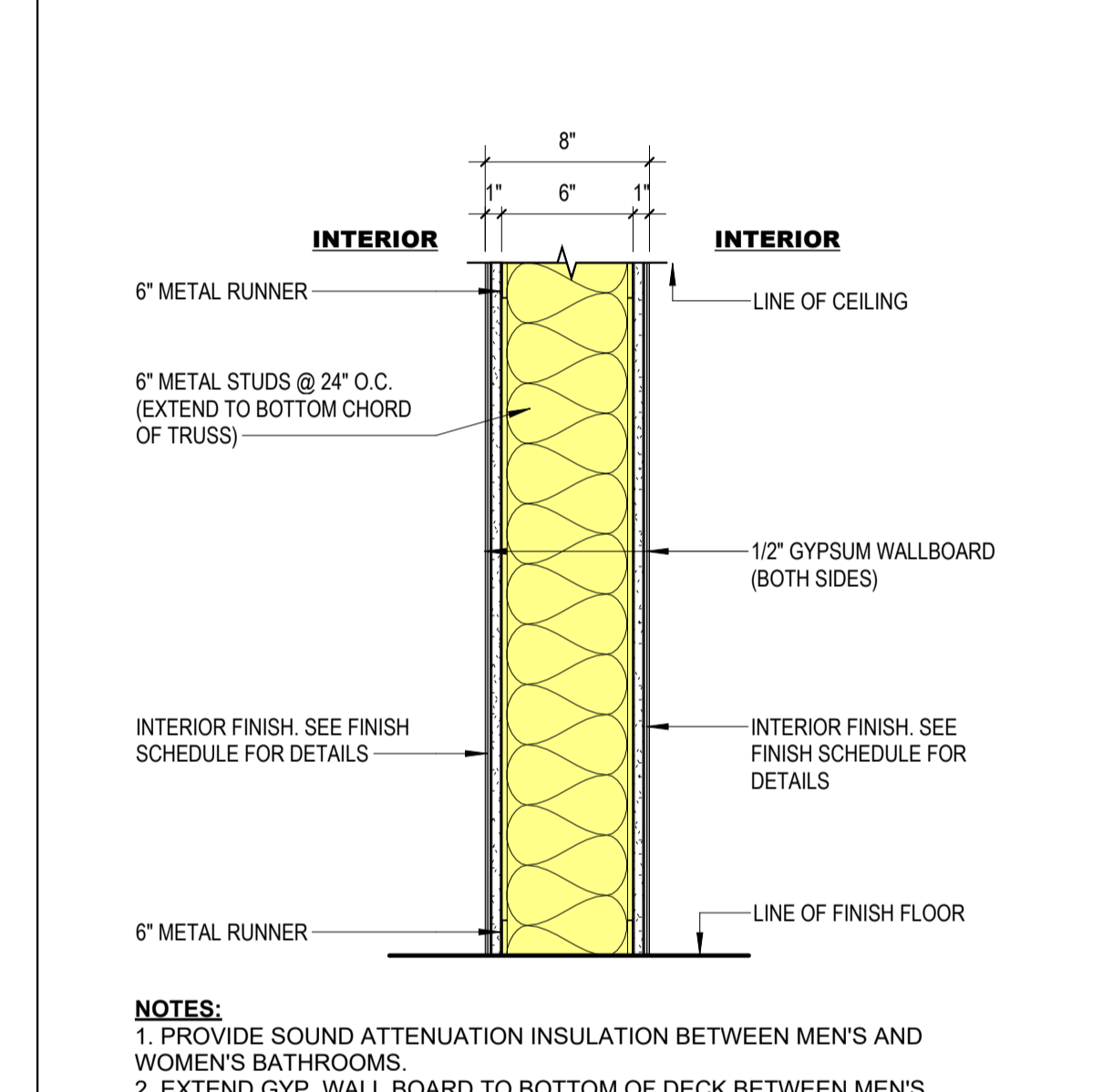
- FIRE WALL PRIORITY: THE HIGHER WALL RATING IS CONTINUOUS WHERE LESSER WALL RATINGS INTERSECT, TYPICAL.
- AT ALL FIRE RATED/SMOKE BARRIER ASSEMBLIES:
 - PROVIDE SAFING, SEALANTS, ETC. AT ALL PENETRATIONS TO MAINTAIN RATINGS AND MEET ALL STATE/LOCAL CODES.
 - PROVIDE FIRE/SMOKE DAMPERS WHERE NEEDED IN WALL TO MAINTAIN RATING AND TO MEET ALL STATE/LOCAL CODES.
 - PROVIDE CAPS ON RATED PARTITIONS TO MEET ALL STATE AND LOCAL CODES.
- REFER TO LIFE SAFETY DRAWINGS FOR ADDITIONAL FIRE RATED PARTITION NOTES AND LOCATIONS. WHERE DISCREPANCIES ARE NOTED, NOTIFY ARCHITECT PRIOR TO START OF WORK.
- FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTIVE OPENINGS SHALL BE PERMANENTLY IDENTIFIED AS PER FBC 2020 703.7 SUCH IDENTIFICATION SHALL BE ABOVE ANY DECORATIVE CEILING AND CONCEALED SPACES AND SHALL BE MARKED AS FOLLOWS: "FIRE AND SMOKE BARRIER PROTECT ALL OPENINGS".
- PROVIDE 3 BEADS OF SEALANT (MINIMUM) AT TOP AND BOTTOM. TYPICAL ALL WALLS. USE SOUND OR FIRE RATED SEALANTS IN RESPECTIVE WALL TYPES.
- ALL INSULATION MATERIAL SHALL BE FORMALDEHYDE FREE AND MOISTURE RESISTANT. AND SHALL HAVE A FLAME SPREAD INDEX OF 25 MAX. & SMOKE DEVELOPED INDEX OF 450 MAX. PER FBC 2023 SECTION 720.2.
- EXTERIOR INSULATION NOTE:
 - CONTRACTOR TO COORDINATE R-VALUE OF EXTERIOR WALL INSULATION WITH ENERGY CALCULATIONS PROVIDED BY MEP ENGINEER.
- GYPSUM BOARD: WALLS TO HAVE A LIGHT SPRAY TEXTURED FINISH, CEILINGS TO HAVE A KNOCK DOWN FINISH.
- PROVIDE FIBER-CEMENT BACKER BOARD ON WALLS AND CEILINGS OF SHOWER & TUB ENCLOSURES PER FBC 2509. PROVIDE MOISTURE AND MOLD RESISTANT GYPSUM BOARD AT ALL OTHER WET LOCATIONS INCLUDING BUT NOT LIMITED TO WALLS AND CEILINGS OF BATHROOMS, LAUNDRY ROOMS, KITCHENS, HVAC CLOSETS, WATER-HEATER CLOSETS AND DRINKING FOUNTAINS.
 - PROVIDE 5/8" USG DUROCK GLASS-MAT TILE BACKERBOARD TO MEET ASTM C1178 AT WET/TILE WALLS, TYPICAL.
- WHERE GYPSUM BOARD ABUTS CMU CONSTRUCTION PROVIDE CONTINUOUS J-MOLD AT JOINT.
- WHERE CHASE, PILASTER, AND COLUMN ENCLOSURES OCCUR, GYPSUM BOARD MAY BE OMITTED ON CONCEALED SIDE UNLESS REQUIRED FOR FIRE RATING. MASONRY WALLS MAY ALSO INCLUDE C.I.P. COLUMNS & BEAMS AS REQUIRED BY STRUCTURAL ENGINEER.



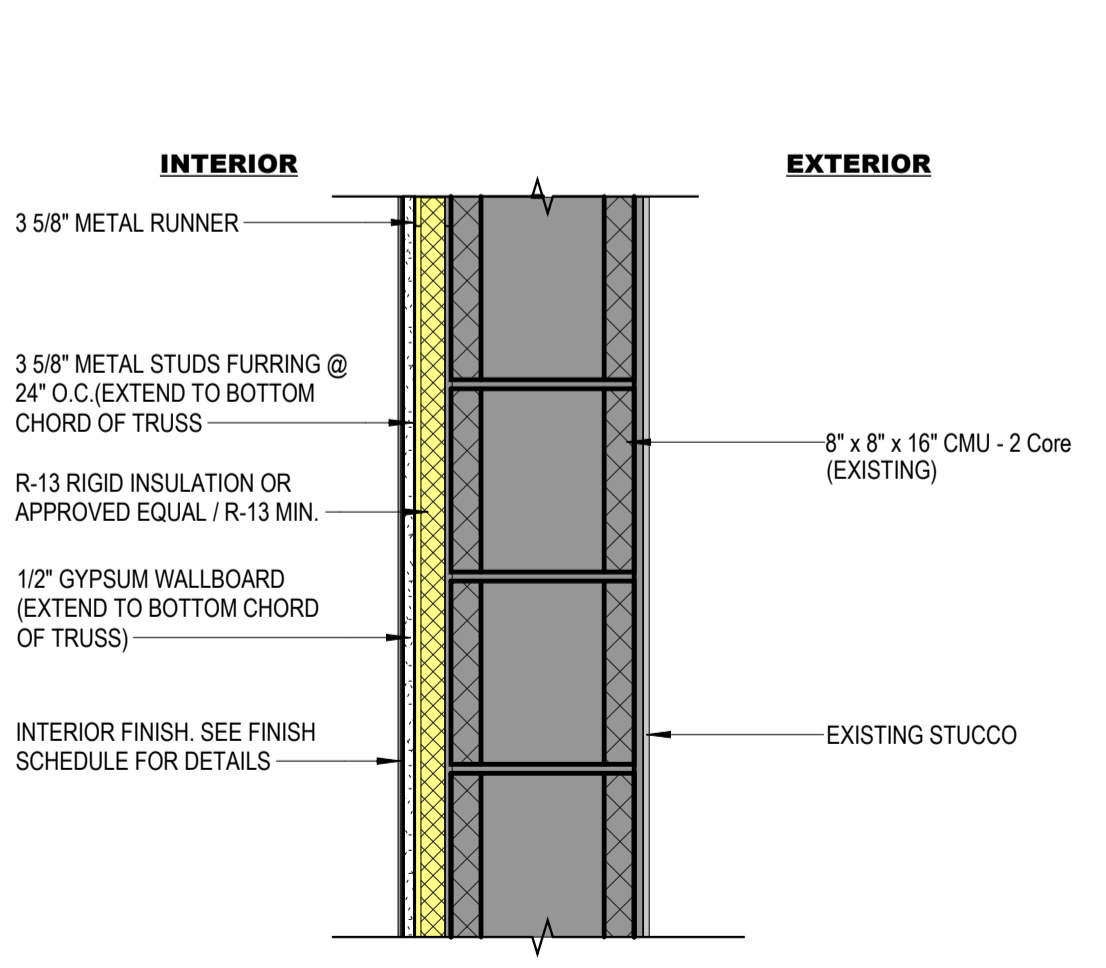
PARTITION BRACING 6
NTS



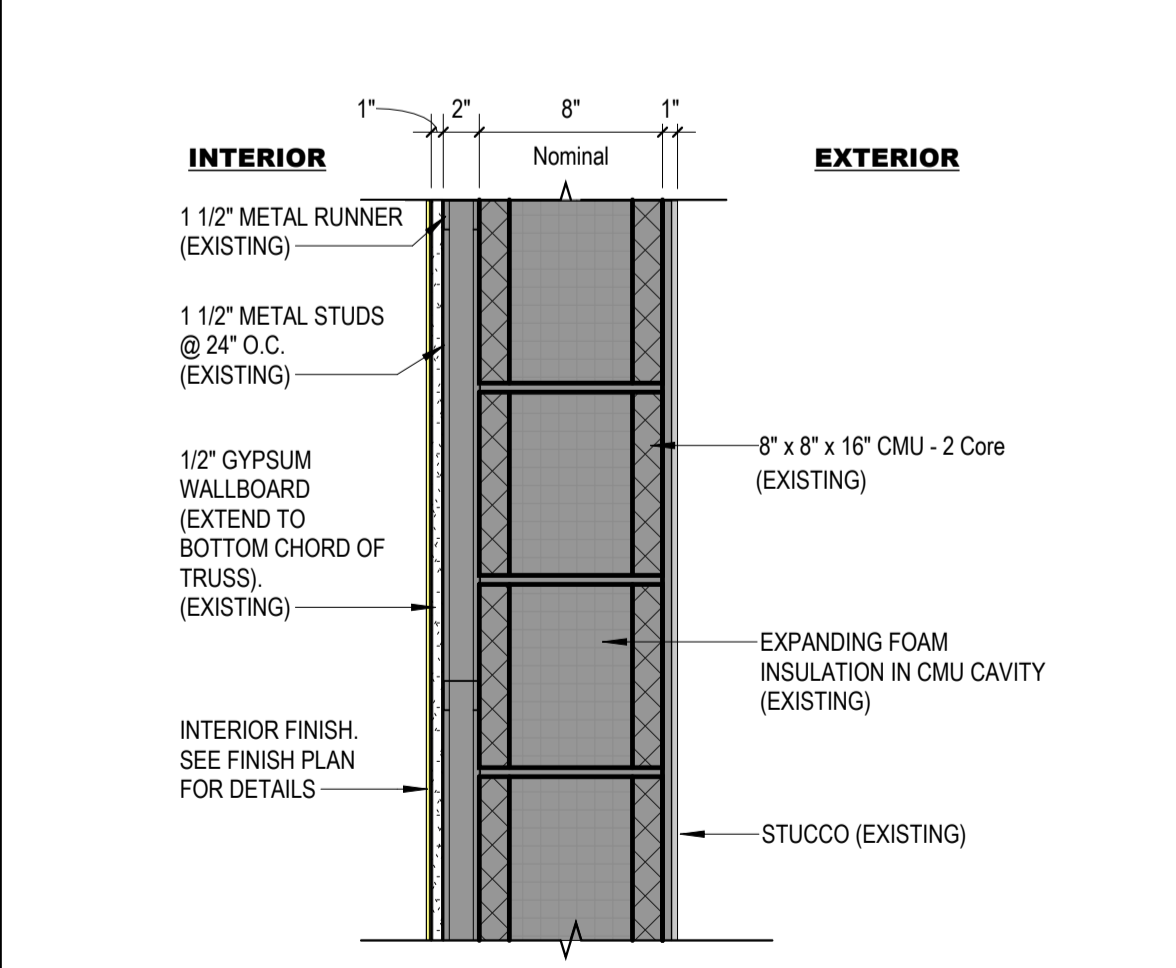
EXISTING INTERIOR PARTITION WITH NEW FINISH 4
W4 1 1/2" = 1'-0"



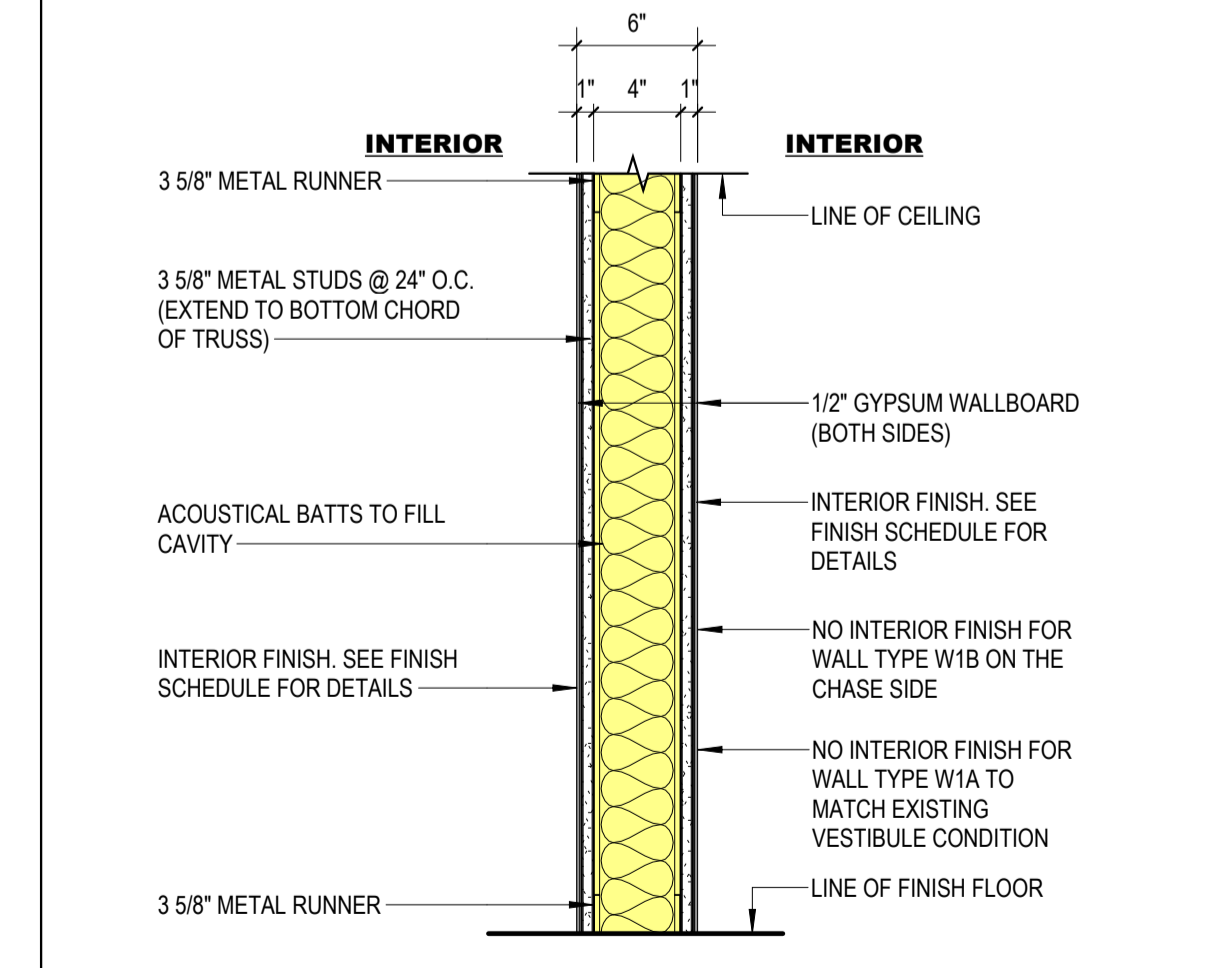
NEW INTERIOR PARTITION - PLUMBING CHASE 2
W2 1 1/2" = 1'-0"



EXISTING CMU WALL WITH NEW INTERIOR FURRING 5
W5 1 1/2" = 1'-0"



EXISTING MASONRY WALL WITH NEW FINISH 3
W3 1 1/2" = 1'-0"



NEW INTERIOR PARTITION 1
W1 1 1/2" = 1'-0"



Rick Gonzalez, AIA
President
FL License AR0014172
120 South Olive Ave. Ste. 210,
West Palm Beach, FL 33401
P (561) 659-2383
www.regarchitects.com

DAVID B. FARBER BUILDING RENOVATION

1050 ROYAL PALM BEACH BLVD. ROYAL PALM BEACH, FL, 33411

NO.	DATE	DESCRIPTION
2	01/10/25	ADDENDUM #3

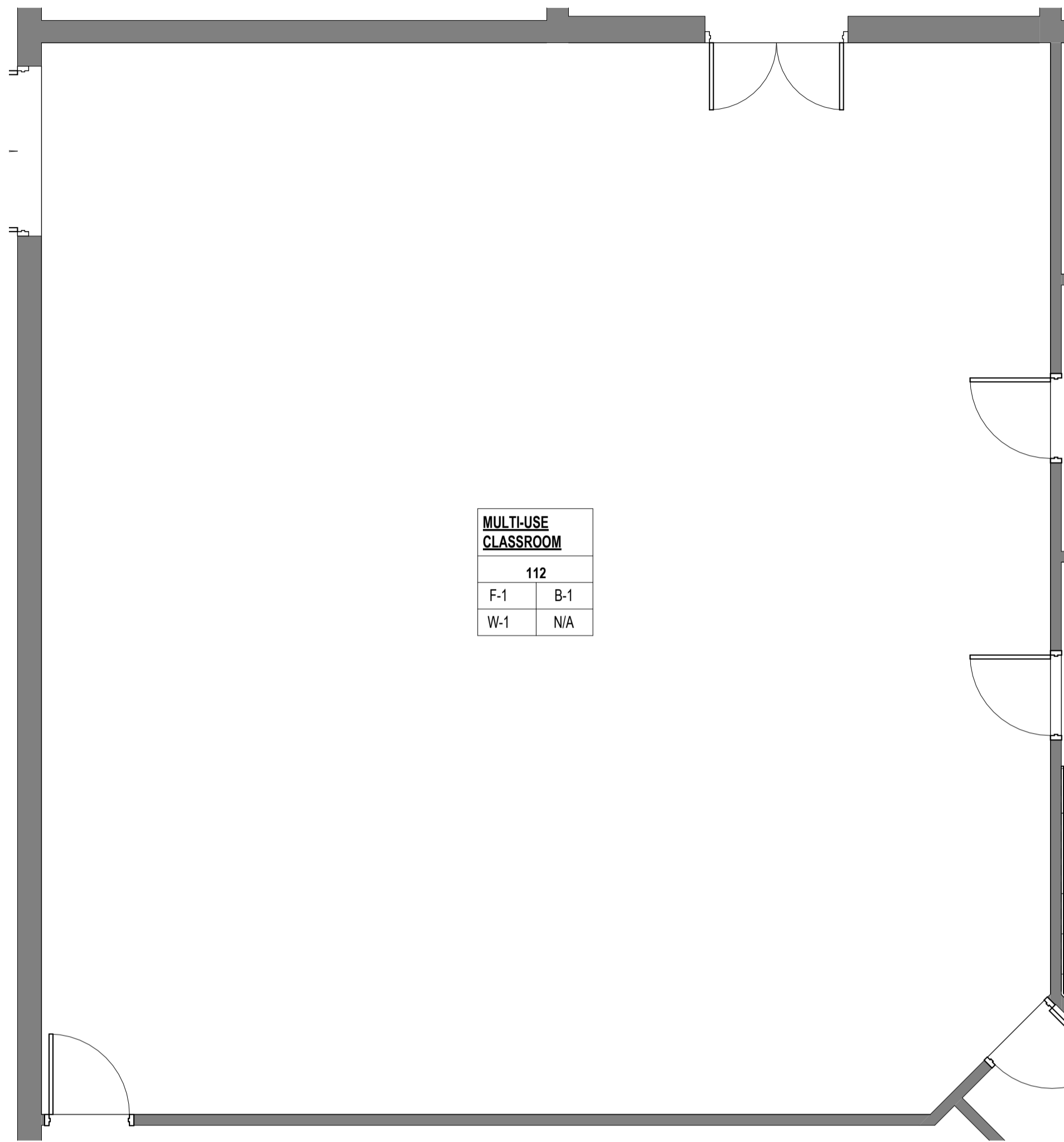
DATE	DATE: 12.13.2024
MODELED	CA
CHECKED	MA/REG
PROJECT #	24009
© REG 2024	

OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

WALL TYPES

PERMIT SET

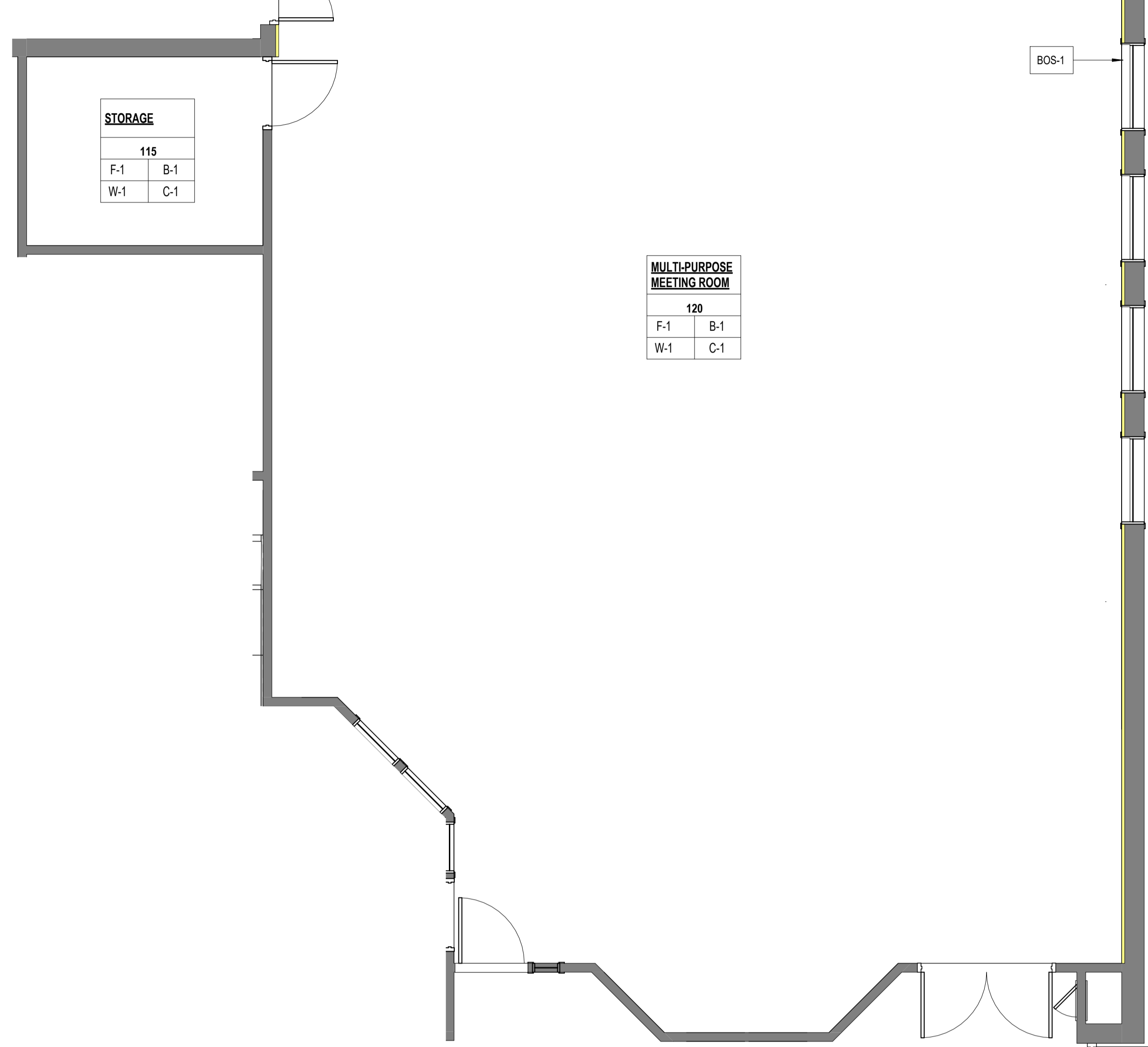
A-5.01



MULTI-USE CLASSROOM	
112	
F-1	B-1
W-1	N/A

1 MULTI-USE CLASSROOM FINISH PLAN

A-5.03 SCALE: 1/4" = 1'-0"

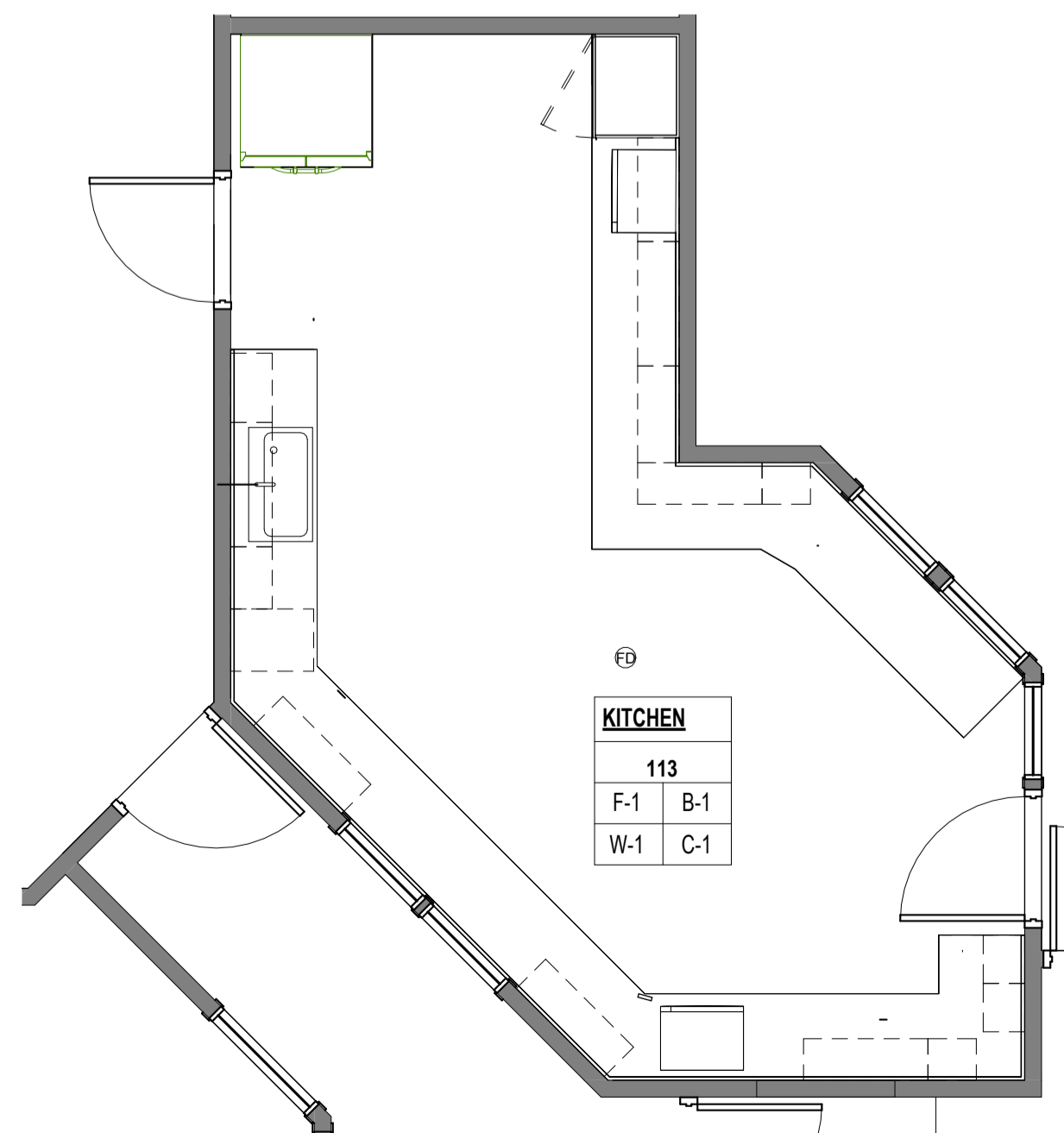


STORAGE	
115	
F-1	B-1
W-1	C-1

MULTI-PURPOSE MEETING ROOM	
120	
F-1	B-1
W-1	C-1

2 MULTI-PURPOSE MEETING ROOM FINISH PLAN

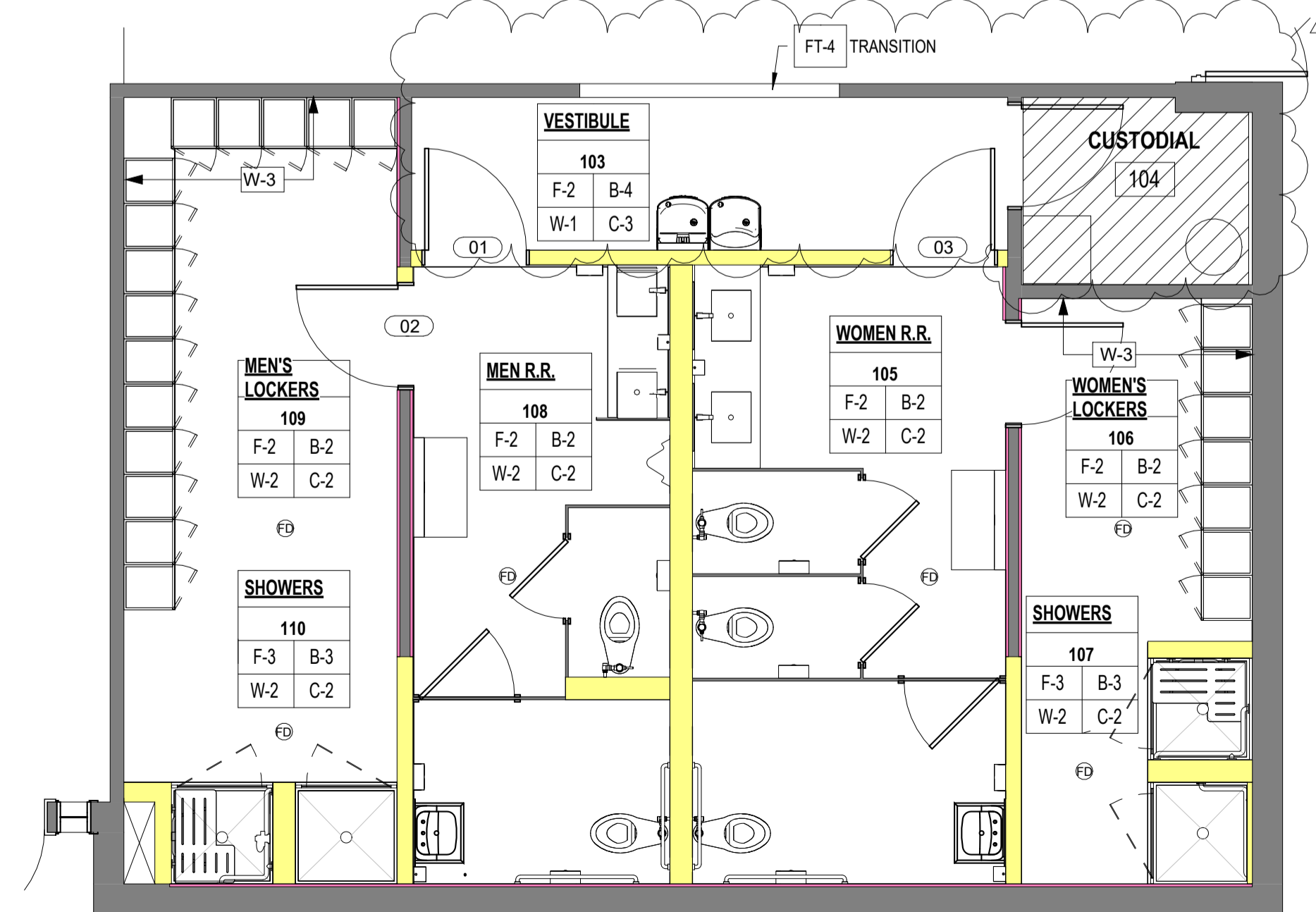
A-5.03 SCALE: 1/4" = 1'-0"



KITCHEN	
113	
F-1	B-1
W-1	C-1

3 KITCHEN FINISH PLAN

A-5.03 SCALE: 1/4" = 1'-0"



MEN'S LOCKERS	
109	
F-2	B-2
W-2	C-2

MEN R.R.	
108	
F-2	B-2
W-2	C-2

WOMEN R.R.	
105	
F-2	B-2
W-2	C-2

WOMEN'S LOCKERS	
106	
F-2	B-2
W-2	C-2

SHOWERS	
110	
F-3	B-3
W-2	C-2

SHOWERS	
107	
F-3	B-3
W-2	C-2

4 RESTROOM FINISH PLAN

A-5.03 SCALE: 1/4" = 1'-0"

FINISH SCHEDULE				
FLOOR				
TAG	DESCRIPTION	MANUFACTURER	MODEL/SERIES	COLOR
F-1	LVT (LUXURY VINYL TILE)	MILLIKEN FLEXFORM	CHANGE AGENT ROOT WORK 9.85'X39.4"	HARVEST RTW219
F-2	PORCELAIN TILE (FIELD)	DALTILE	HAUT MONDE 24x48 MATTE	ELITE GRAY HM05
F-3	PORCELAIN TILE	DALTILE	HAUT MONDE 2x2 MOSAIC 12X12 SHEET MATTE	NOBILITY WHITE HM08
FT-4	PORCELAIN TILE (TRANSITION)	DALTILE	HAUT MONDE 6x48 MATTE	ELITE GRAY HM05

BASE				
TAG	DESCRIPTION	MANUFACTURER	MODEL/SERIES	COLOR
B-1	WALL BASE	JONSONITE MILLWORK WALL BASE	TARKETT MANDALY 6" HEIGHT	08 ICICLE W
B-2	WALL BASE	DALTILE	HAUT MONDE COVE BASE 6X12 S36C9 MATTE	ELITE GRAY HM05
B-3	WALL BASE	DALTILE	HAUT MONDE COVE BASE 6X12 S36C9 MATTE	NOBILITY WHITE HM08
B-4	WALL BASE	BURKER MERCER	6" COVE RUBBER	UNI-COLOR / MATCH EXISTING

WALL				
TAG	DESCRIPTION	MANUFACTURER	MODEL/SERIES	COLOR/FINISH
W-1	PAINT	SHERWIN WILLIAMS	TBD	(FINISH: SATIN)
W-2	A. CERAMIC TILE - FIELD	DALTILE	SIZE 6X6 FINISH: GLOSSY	ALMOND (FINISH GLOSSY)
	B. CERAMIC TILE - ACCENT	DALTILE	SIZE 6X6 FINISH: GLOSSY	URBAN PUTTY SQUARE 0161 (FINISH GLOSSY)
	C. CERAMIC TILE - TRIM	DALTILE	JOLLY 1/2X12 FINISH: GLOSSY	URBAN PUTTY JOLLY (FINISH GLOSSY)
REFER TO BATHROOM ELEVATION FOR CERAMIC LOCATION				
W-3	PAINT	SHERWIN WILLIAMS	TBD	FINISH: SEMIGLOSS

CEILING				
TAG	DESCRIPTION	MANUFACTURER	MODEL/SERIES	COLOR
C-1	2'X2' GRID ACOUSTICAL CEILING	USC	ECLIPSE SLT-CLIMAPLUS.75 NRC @ TRAINING ROOM ECLIPSE SE-CLIMAPLUS @ KITCHEN	WHITE
C-2	5/8" MR BOARD GYPSUM CEILING, PAINTED WITH KNOCK DOWN FINISH OVER 1 5/8" METAL STUD FRAMING	SHERWIN WILLIAMS	PAINT - FINISH FLAT	CEILING BRIGHT WHITE
C-3	5/8" MR BOARD GYPSUM CEILING, OVER 1 5/8" METAL STUD FRAMING. FINISH MATCH EXISTING	SHERWIN WILLIAMS	PAINT	MATCH EXISTING

WINDOW TREATMENT				
TAG	DESCRIPTION	MANUFACTURER	MODEL/SERIES	COLOR
BOS-1	MOTORIZED BLACK-OUT SHADES WITH CRESTRON AUTOMATION	SHADES BY DESIGN.COM	BLACKOUT ROLLER SHADES	BLACK

FINISH NOTES

1. ALL FINISHES AND TILE PATTERNS TO BE APPROVED BY ARCHITECT / OWNER PROVIDE SAMPLE/SUBMITTAL PRIOR TO ORDERING & INSTALLATION.
2. FIELD VERIFY ALL DIMENSIONS & SITE CONDITIONS PRIOR TO ANY FABRICATION OR INSTALLATION. N/A = NOT APPLICABLE
3. ALL FINISHES ARE BASIS OF DESIGN AND MAY BE SUBSTITUTED FOR AN APPROVED EQUAL DURING THE BIDDING PHASE.

FINISH NOTES

1. CONTRACTOR TO COORDINATE WITH OWNER & ARCHITECT FOR OWNER TO PROVIDE MATERIAL, APPLIANCES AND ACCESSORIES
2. ALL FINISHES AND TILE PATTERNS TO BE APPROVED BY OWNER & ARCHITECT
3. BATHROOM ACCESSORIES TO BE APPROVED BY OWNER & ARCHITECT
4. PROVIDE SOLID WOOD BLOCKING IN WALL AS REQUIRED FOR ALL INSTALLED ITEMS (FIXTURES, ACCESSORIES, ETC.)
5. MILLWORK / CABINERY:
 - PROVIDE CABINERY / MILLWORK SHOP DRAWINGS TO BE REVIEWED BY ARCHITECT AND OWNER PRIOR TO FABRICATION
 - FIELD VERIFY ALL DIMENSIONS
 - VERIFY CABINERY OPENINGS WITH APPLIANCE / EQUIPMENT MANUFACTURER
 - PROVIDE STANDARD BEAD OF CLEAR PAINTABLE SEALANT AT ALL EXPOSED EDGES OF MILLWORK (ie. BACKSPLASH, COUNTER-WALL INTERSECTIONS)

ALL FINISHES, FIXTURES, AND EQUIPMENT SELECTIONS ARE BASIS OF DESIGN, APPROVED EQUALS ARE ACCEPTABLE BY OWNER / ARCHITECT

REFER TO FINISH SCHEDULE FOR ALL WALL FINISHES

NOTE: EXISTING OUTLETS AT MULTI-USE CLASSROOM AND MEETING ROOM TO REMAIN AND NEW FACEPLATES TO BE ADDED TYPICAL.

NOT IN SCOPE



Rick Gonzalez, AIA
President
FL License AR0014172
120 South Olive Ave. Ste. 210,
West Palm Beach, FL 33401
P (561) 659-2383
www.regarchitects.com

DAVID B. FARBER BUILDING RENOVATION

1050 ROYAL PALM BEACH BLVD. ROYAL PALM BEACH, FL, 33411

NO.	DATE	DESCRIPTION
2	01/10/25	ADDENDUM #3

DATE	DATE: 12.13.2024
MODELED	CA
CHECKED	MA/REG
PROJECT #	24009
© REG	2024

OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

FINISH SCHEDULE AND NOTES

PERMIT SET

A-5.03

GENERAL FIRE SPRINKLER NOTES

- ALL FIRE SPRINKLER WORKS TO BE INSTALLED BY A FIRE SPRINKLER CONTRACTORS CERTIFIED IN THE STATE OF FLORIDA.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN STRICT ACCORDANCE WITH NFPA-13 AND NFPA-24 AND THE APPLICABLE LOCAL CODES, RULES AND ORDANANCES.
- SPRINKLER SYSTEM LAYOUT DOCUMENTS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR APPROVAL PRIOR TO CONSTRUCTION. THEY SHALL INCLUDE BUT NOT LIMITED TO THE FLOW TEST DATA, BACKFLOW AND FLOW SWITCHES, RISER ASSEMBLY, DRAIN AND TEST ASSEMBLY, HEAD LOCATIONS, CUT LENGTHS AND HYDRAULIC CALCULATIONS.
- THE SPRINKLER CONTRACTOR SHALL CONSIDER THE PROJECT AS ONE SET OF DOCUMENTS. THE GENERAL CONTRACTOR SHALL PROVIDE THE SPRINKLER CONTRACTOR A COMPLETE SET OF DOCUMENTS INCLUDING ALL TRADES PRIOR TO BIDDING AND CONSTRUCTION. THE SPRINKLER CONTRACTOR SHALL COORDINATE WITH ALL OTHER CONTRACTORS AS REQUIRED AND WILL INFORM THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR POSSIBLE CONFLICTS ON THE DOCUMENTS PRIOR TO SUBMITTING FINAL BID AND COMMENCING ANY WORK. THE SPRINKLER CONTRACTOR SHALL MAKE HIMSELF AVAILABLE FOR REVIEWING DOCUMENTS WITH ARCHITECT/ENGINEER UPON REQUEST.
- THE FIRE SPRINKLER CONTRACTOR SHALL BE HELD TO HAVE VERIFIED ALL EXISTING CONDITIONS, INCLUDING SITE VISITATION, AND REVIEW OF AS BUILT DOCUMENTATION AS APPLICABLE PRIOR TO BIDDING, ORDERING, FABRICATION, OR INSTALLATION OF ANY MATERIALS OR EQUIPMENT ON THIS PROJECT.
- ALL WORK SHALL BE PERFORMED BY A LICENSED FIRE SPRINKLER CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE. ALL EXCAVATION AND BACK FILL AS REQUIRED FOR THIS PHASE OF CONSTRUCTION SHALL BE A PART OF THIS CONTRACT.
- REQUIRED INSURANCE SHALL BE PROVIDED BY THE FIRE SPRINKLER CONTRACTOR FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
- FIRE SPRINKLER CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, INSPECTIONS, AND TESTS. FIRE SPRINKLER CONTRACTOR TO OBTAIN PERMIT AND APPROVED SUBMITTALS PRIOR TO BEGINNING WORK OR ORDERING EQUIPMENT. FIRE SPRINKLER CONTRACTOR MUST BE PRESENT FOR ALL INSPECTIONS OF HIS WORK BY REGULATORY AUTHORITIES.
- DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND STRUCTURAL DRAWINGS AND ARE CONSIDERED TO BE ONE SET OF DOCUMENTS. DO NOT SCALE FOR THE EXACT LOCATION OF FIXTURES, PIPING, EQUIPMENT, ETC.
- FIRE SPRINKLER CONTRACTOR SHALL SUBMIT FOR APPROVAL A DIGITAL COPY OF THE MANUFACTURER'S DRAWINGS FOR EACH PIECE OF EQUIPMENT INCLUDED IN CONTRACT. ALL MATERIAL SHALL BE NEW OF US MANUFACTURER OF GOOD QUALITY. ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER BY SKILLED TRADESMEN.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION. REPORT ANY DISCREPANCY TO ENGINEER/ARCHITECT PRIOR TO BEGINNING CONSTRUCTION.
- AS APPLICABLE THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND SUPPORTING FUNCTIONALITY OF FIRE SPRINKLER SYSTEMS IN UN-REMODELED AREAS DURING CONSTRUCTION AND INSTALLATION.
- THE UNDERGROUND CONTRACTOR SHALL COORDINATE THE LOCATION OF THE DDC, FDC, AND PIV WITH THE CIVIL ENGINEER AS REQUIRED.

SPRINKLER LAYOUT DOCUMENTS

61G15-32.003

- THE CONTRACTOR SHALL PROVIDE SYSTEM LAYOUT DOCUMENTS FOR A WET PIPE FIRE PROTECTION SYSTEM CONSISTENT WITH THE REQUIREMENTS OF NFPA 13.
- THE DOCUMENTS SHALL INCLUDE HEAD LAYOUTS, PIPE CUT LENGTHS, HYDRAULIC CALCULATIONS, CATALOG INFORMATION ON STANDARD PRODUCTS, AND OTHER CONSTRUCTION DATA THAT PROVIDES DETAIL ON THE LOCATION OF RISERS, CROSS MAINS, BRANCH LINES, SPRINKLER HEADS, SIZING OF PIPE, AND HANGER LOCATIONS AND ALSO SERVES AS A GUIDE FOR FABRICATION AND INSTALLATION OF A FIRE PROTECTION SYSTEM.
- THE HYDRAULIC CALCULATIONS SHALL BE COMPUTER GENERATED USING A SOFTWARE EQUAL TO "HYDRACAD" OR SIMILAR APPROVED SOFTWARE AND SHALL INCLUDE A SUMMARY SHEET, GRAPH SHEET, A WATER SUPPLY ANALYSIS, A NODE ANALYSIS AND DETAIL WORK SHEETS CONSISTENT WITH THE REQUIREMENTS OF NFPA 13 SECTION 22.3.5.
- IT IS THE RESPONSIBILITY OF THE SPRINKLER CONTRACTOR TO COORDINATE THE LOCATIONS OF SPRINKLER HEADS WITH REGARD TO ARCHITECTURAL FEATURES AND OTHER SIMILAR OBSTRUCTIONS.
- SPRINKLER HEADS IN ACOUSTICAL CEILING TILE (ACT) SHALL BE LOCATED IN THE CENTER OF THE TILE.

ACCEPTANCE TEST CRITERION

61G15-32.003 (2)

- THE SYSTEM SHALL BE TESTED IN ACCORDANCE WITH THE REQUIREMENTS OF NFPA-13 AND NFPA-24 AS APPLICABLE. THE CONTRACTOR SHALL NOTIFY THE AUTHORITY HAVING JURISDICTION (FIRE DEPARTMENT) AND THE OWNER (OR OWNER'S REPRESENTATIVE) OF THE TIME AND DATE TESTING WILL BE PERFORMED AT LEAST 48 HOURS IN ADVANCE.
- THE INSTALLING CONTRACTOR SHALL COMPLETE THE REQUIRED ACCEPTANCE TESTS. THE FOLLOWING CERTIFICATES SHALL BE COMPLETED WITH ALL APPLICABLE TEST RESULTS:
 - NFPA 13, FIGURE 10.10.1, "CONTRACTOR'S MATERIAL AND TEST CERTIFICATE FOR UNDERGROUND PIPING."
 - NFPA 13, FIGURE 25.1, "CONTRACTOR'S MATERIAL AND TEST CERTIFICATE FOR ABOVEGROUND PIPING."
- SEE NFPA 13, SYSTEM ACCEPTANCE, AND CHAPTER 10 SECTION 10.10, TESTING AND ACCEPTANCE FOR DETAILS ON APPLICABLE ITEMS.
- THE COMPLETED SYSTEM SHALL BE HYDROSTATICALLY TESTED TO 200 PSIG FOR 2 HOURS WITH NO VISIBLE LOSS OF PRESSURE. THE PRESSURE SHALL BE MEASURED AT THE LOWEST PLACE IN THE BUILDING SYSTEM.
- WATER FLOW DETECTING DEVICES INCLUDING THE ASSOCIATED ALARM CIRCUITS SHALL BE FLOW TESTED THROUGH THE INSPECTOR'S TEST CONNECTION AND SHALL RESULT IN AN AUDIBLE ALARM ON THE PREMISES WITHIN 5 MINUTES AFTER SUCH FLOW BEGINS AND UNTIL SUCH FLOW STOPS.
- ALL UNDERGROUND PIPING SHALL BE FLUSHED AND TESTED IN ACCORDANCE WITH NFPA-24 AND CHAPTER 10 OF NFPA-13 PRIOR TO CONNECTION WITH THE BUILDING SPRINKLER SYSTEM.

ADDENDUM 3 - 01/15/2025

STRUCTURAL SUPPORT AND OPENINGS

61G15-32.003

THE STRUCTURE OF THE BUILDING SHALL INCLUDE THE WEIGHT OF THE SPRINKLER SYSTEM. THIS SHALL INCLUDE A DEAD LOAD OF 5 LBS/SF AND A LIVE LOAD OF 250 LBS AT THE POINT OF HANGING AS PER NFPA 13 9.2.1.3.1. THE DESIGN OF THE REINFORCEMENT SHALL BE PREPARED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF FLORIDA. THE REINFORCEMENT, IF REQUIRED, SHALL BE SHOWN ON THE STRUCTURAL CONSTRUCTION DOCUMENTS. THE STRUCTURAL DOCUMENTS, ALONG WITH THE FIRE SPRINKLER SHOP DRAWINGS, SHALL BE SUBMITTED TO THE MECHANICAL ENGINEER FOR REVIEW PRIOR TO INSTALLATION. CONTRACTOR SHALL COORDINATE WITH STRUCTURAL ENGINEER.

61G15-32.004 (2)

- A. POINT OF SERVICE - REFERENCE OWNER'S EXISTING DRAWINGS.
- B. APPLICABLE NFPA CODES AND STANDARDS - REFERENCE SHEET FP-001, APPLICABLE BUILDING CODES BLOCK.
- C. CLASSIFICATION OF HAZARD OCCUPANCY FOR EACH ROOM OR AREA - REFERENCE SHEET FP-101, OCCUPANCY CLASSIFICATIONS BLOCK.
- D. DESIGN APPROACH - REFERENCE OWNER'S EXISTING DRAWINGS.
- E. SITE WATER CHARACTERISTICS - REFERENCE OWNER'S EXISTING DRAWINGS.
- F. FLOW TEST DATA - FIRE FLOW TEST DATA FOR THE SITE REFERENCE OWNER'S EXISTING DRAWINGS.
- G. VALVING AND ALARM REQUIREMENTS - REFERENCE OWNER'S EXISTING DRAWINGS.
- H. MIC INFORMATION - THE WATER PURVEYOR TO THIS PROJECT, IS A PUBLIC WATER SUPPLY COMPANY. ACCORDING TO THE FEDERAL SAFE DRINKING WATER ACT, THE STATE OF FLORIDA HAS ADOPTED THESE STANDARDS IN CHAPTER 62-550 OF THE FLORIDA ADMINISTRATIVE CODE, WHICH STATES THAT ALL PUBLIC WATER SUPPLIES SHALL MEET THE REQUIREMENTS FOR ACCEPTABLE BACTERIAL LEVELS IN THE SUPPLY BY FOLLOWING THE TESTING PROGRAMS AND CONTROL GUIDELINES DEVELOPED. IN ADDITION, NFPA-13, SUPPLEMENT 3, "MICROBIOLOGICALLY INFLUENCED CORROSION IN FIRE SPRINKLER SYSTEMS," DISCUSSES THAT THE PERCENTAGE OF CORROSION FROM MIC CANNOT BE NUMERICALLY DEFINED DUE TO THE MANY OTHER FACTORS THAT CAUSE CORROSION. THOUGH THE EXISTENCE OF MIC IS WELL KNOWN, BASED UPON THE STANDARDS SET FORTH BY THE STATE OF FLORIDA AND COLLIER COUNTY UTILITIES, AS WELL AS THE PREVIOUS HISTORY OF THIS WATER SUPPLY IN THIS AREA, THIS ENGINEER IDENTIFIES THIS WATER SUPPLY TO BE OF A QUALITY THAT WOULD NOT BE REASONABLY EXPECTED TO LEAD TO MIC.
- I. BACKFLOW PREVENTION AND METERING SPECIFICATIONS - REFERENCE OWNER'S EXISTING DRAWINGS.
- J. QUALITY AND PERFORMANCE SPECIFICATIONS OF YARD AND INTERIOR FIRE PROTECTION COMPONENTS - ALL INTERIOR FIRE PROTECTION EQUIPMENT SHALL CONFORM TO NFPA-13 AND ALL UNDERGROUND FIRE PROTECTION EQUIPMENT SHALL CONFORM TO NFPA-24. ALL INTERIOR AND UNDERGROUND FIRE PROTECTION EQUIPMENT SHALL BE UL OR FM LISTED.
- K. FIRE PUMP REQUIREMENT - THERE IS NO FIRE PUMP REQUIRED FOR THIS PROJECT.
- L. FIREWATER STORAGE TANK REQUIREMENT - THERE IS NO STORAGE TANK REQUIRED FOR THIS PROJECT.
- M. OWNER'S CERTIFICATE OF INFORMATION - REFERENCE OWNER'S EXISTING DRAWINGS.

UNDERGROUND PIPE NOTES

- ALL UNDERGROUND PIPING SHALL BE INSTALLED BY A FS 633 LICENSED FIRE PROTECTION CONTRACTOR.
- UNDERGROUND FIRE SPRINKLER RUN PIPING SHALL BE INSTALLED IN COMPLIANCE WITH NFPA-24.
- THE UNDERGROUND PIPING SHALL BE HYDROSTATICALLY TESTED TO 200 PSIG FOR A PERIOD OF 2 HOURS WITH NO VISIBLE DROP IN PRESSURE.
- THE FDC AND UNDERGROUND PIPING SHALL BE SIMILARLY TESTED CONTINUOUS TO THE RISER.
- THE UNDERGROUND CONTRACTOR SHALL PROVIDE SIGNED MATERIALS AND TEST CERTIFICATES IN COMPLIANCE WITH NFPA-24, FIG 10.10.1, "CONTRACTORS MATERIAL AND TEST CERTIFICATE FOR UNDERGROUND PIPING."
- THE FDC SHALL BE LOCATED NOT LESS THAN 18" OR GREATER THAN 48" ABOVE THE ADJACENT GRADE.

FIRE PROTECTION INDEX

- F-0.00 FIRE PROTECTION COVER SHEET
- F-0.01 FIRE PROTECTION FLOOR PLAN

APPLICABLE BUILDING CODES

- FLORIDA BUILDING CODE, 8TH EDITION (2023)
- FLORIDA FIRE PREVENTION CODE, 8TH EDITION (2023)
- NFPA 13, STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS, 2019 EDITION
- NFPA 14, STANDARD FOR THE INSTALLATION OF STANDPIPE AND HOSE SYSTEMS, 2019 EDITION
- NFPA 20, STANDARD FOR THE INSTALLATION OF STATIONARY PUMPS FOR FIRE PROTECTION, 2019 EDITION
- NFPA 24, STANDARD FOR THE INSTALLATION OF STATIONARY PUMPS FOR FIRE PROTECTION, 2019 EDITION

FIRE SPRINKLER SCOPE OF WORK

THE FIRE SPRINKLER SCOPE OF WORK INCLUDES BUT IS NOT LIMITED TO:

- EXISTING FIRE SPRINKLER CAN REMAIN IN PLACE WHICH HAS UPTURNED HEADS DUE TO THE OPEN CEILING. WITH THE NEW "CLOUD CEILINGS" BEING ADDED ADDITIONAL DOWN-FACING HEADS SHALL BE ADDED TO THE CLOUDS AS REQUIRED BY NFPA13.
- ADD NEW AND RELOATE HEADS FOR RENOVATED RESTROOM AND OFFICE/KITCHEN.
- TOTAL SQUARE FOOTAGE OF PROJECT SHALL BE APPROXIMATELY 1,520 FT2.

REG
ARCHITECTS
since 1988



Rick Gonzalez, AIA
President

FL License AR0014172
120 South Olive Ave. Ste. 210,
West Palm Beach, FL 33401
P (561) 659-2383
www.regarchitects.com

DAVID B. FARBER BUILDING
RENOVATION

1050 ROYAL PALM BEACH
BLVD.ROYAL PALM BEACH, FL,
33411

NO.	DATE	DESCRIPTION
2	01/10/25	Addendum #3

DATE	DATE: 12/13/2024
MODELED	CA
CHECKED	MA/REG
PROJECT #	24009
© REG 2024	

OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

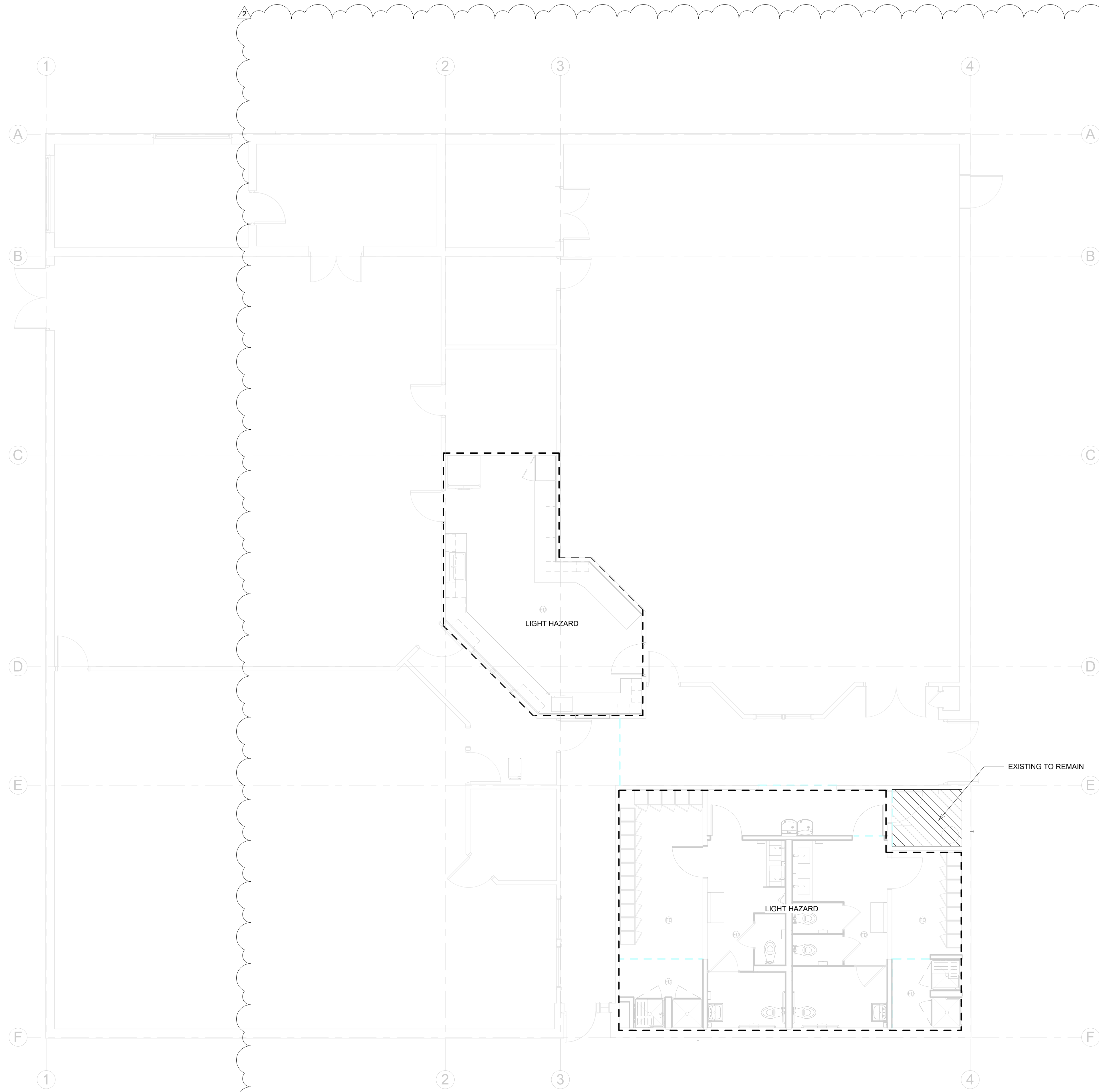
FIRE PROTECTION COVER SHEET

RGD
CONSULTING
ENGINEERS

JUPITER | ORLANDO
561-743-0165 | 407-845-9630
WWW.RGDENGINEERS.COM
2151 ALT A1A #2000, JUPITER, FL 33477
CERT OF AUTH 5454

PERMIT SET

F-0.00



OCCUPANCY CLASSIFICATIONS
 61G15-32.004 (2) (c)
LIGHT HAZARD - AREAS NOT OTHERWISE LABELED ARE CONSIDERED LIGHT HAZARD OCCUPANCIES
ORDINARY HAZARD GROUP 1 - AS SHOWN ON DRAWINGS

DESIGN APPROACH
 61G15-32.004 (2) (d)
LIGHT HAZARD
 FIRE PROTECTION SHALL BE PROVIDED BY A WET PIPE AUTOMATIC SPRINKLER SYSTEM UTILIZING STEEL SUPPLY PIPING. PROVIDE PIPE DROPS/SPRINGS OFF THE SUPPLY PIPING TO QUICK-RESPONSE PENDENT HEADS LOCATED BELOW THE CEILING. DENSITY IS TO BE HYDRAULICALLY CALCULATED TO BE AT LEAST 0.10 GPM/SQ. FT. A MAXIMUM SPACING OF 15 FEET AND A MAXIMUM PROTECTION AREA OF 225 SQUARE FEET PER HEAD SHALL BE UTILIZED FOR STANDARD SPACING HEADS. A MAXIMUM SPACING OF 20 FT. AND A MAXIMUM PROTECTION AREA OF 400 SQ. FT. PER HEAD SHALL BE UTILIZED FOR EXTENDED COVERAGE HEADS. SMALL ROOM RULE APPLIES. A DESIGN AREA REDUCTION MAY BE TAKEN PER NFPA-13, 2016 EDITION, SECTION 11.2.3.2.3. HEAD TEMPERATURE RATING FOR PENDANTS IS TO BE ORDINARY (135 - 170 °F) AS DEFINED IN NFPA-13, 2016 EDITION, TABLE 6.2.5.1, "TEMPERATURE RATINGS, CLASSIFICATIONS, AND COLOR CODINGS."
ORDINARY HAZARD GROUP 1
 FIRE PROTECTION SHALL BE PROVIDED BY A WET PIPE AUTOMATIC SPRINKLER SYSTEM UTILIZING STEEL SUPPLY PIPING. PROVIDE PIPE DROPS OFF THE SUPPLY PIPING TO PENDENT HEADS LOCATED BELOW THE CEILING. DENSITY IS TO BE HYDRAULICALLY CALCULATED TO BE AT LEAST 0.15 GPM/SQ. FT., WITH A MAXIMUM SPACING OF 15 FT. AND A MAXIMUM PROTECTION AREA OF 130 SQUARE FEET PER HEAD. A DESIGN AREA REDUCTION MAY BE TAKEN PER NFPA-13, 2016 EDITION, SECTION 11.2.3.2.3. HEAD TEMPERATURE RATING IS TO BE ORDINARY (135 - 170 °F) AS DEFINED IN NFPA-13, 2016 EDITION, TABLE 6.2.5.1, "TEMPERATURE RATINGS, CLASSIFICATIONS, AND COLOR CODINGS."



Rick Gonzalez, AIA
 President
 FL License AR0014172
 120 South Olive Ave. Ste. 210,
 West Palm Beach, FL 33401
 P (561) 659-2383
 www.regarchitects.com

DAVID B. FARBER BUILDING
 RENOVATION

1050 ROYAL PALM BEACH
 BLVD.ROYAL PALM BEACH, FL,
 33411

NO.	DATE	DESCRIPTION
2	01/10/25	Addendum #3

DATE	DATE: 12/13/2024
MODELED	CA
CHECKED	MA/REG
PROJECT #	24009
© REG 2024	

OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

FIRE PROTECTION FLOOR PLAN

1 FIRE PROTECTION - OVERALL VIEW
 3/16" = 1'-0"

RGD
 CONSULTING ENGINEERS
 JUPITER | ORLANDO
 561-743-0165 | 407-845-9630
 WWW.RGDCONSTRUCTORS.COM
 2151 ALT A1A #2000, JUPITER, FL 33477
 CERT OF AUTH 5454

PERMIT SET

F-0.01

FIRE ALARM GENERAL NOTES

1. **OCCUPANCY CLASSIFICATION [61G15-32.008-4(a)]:**
 - 1.1. B BUSINESS
2. **CIRCUIT CLASS AND SURVIVABILITY [61G15-32.008-4(d)]:**
 - 2.1. CLASS B, SURVIVABILITY LEVEL 1
3. **TYPE OF ALARM SYSTEM [61G15-32.008-4(f)]:**
 - 3.1. ADDRESSABLE ALARM SYSTEM
 - 3.2. PRIMARY POWER: 24V-DC OBTAINED FROM 120V AC SERVICE AND POWER SUPPLY MODULE.
 - 3.3. SECONDARY POWER: 24V-DC SUPPLY SYSTEM WITH BATTERIES, AUTOMATIC BATTERY CHARGER, AND AUTOMATIC TRANSFER SWITCH.
4. **FUNCTIONS REQUIRED BY THE ALARM & CONTROL SYSTEM [61G15-32.008-4(e)]:**
 - 4.1. SEE SEQUENCE OF OPERATION BLOCK
 - 4.2. FIRE ALARM SIGNAL INITIATION ACTIVATED BY (ONE OR MORE):
 - 4.2.1. MANUAL STATIONS,
 - 4.2.2. AUTOMATIC SPRINKLER SYSTEM WATER FLOW
 - 4.3. FIRE ALARM SIGNAL SHALL INITIATE THE FOLLOWING ACTIONS:
 - 4.3.1. CONTINUOUSLY OPERATE ALARM NOTIFICATION APPLIANCES.
 - 4.3.2. IDENTIFY ALARM AND SPECIFIC INITIATING DEVICE AT FIRE-ALARM CONTROL UNIT AND REMOTE ANNUNCIATORS.
 - 4.3.3. TRANSMIT AN ALARM SIGNAL TO THE REMOTE ALARM RECEIVING STATION.
 - 4.3.4. SWITCH HEATING, VENTILATING AND AIR-CONDITIONING EQUIPMENT CONTROLS TO FIRE-ALARM MODE.
 - 4.4. SUPERVISORY SIGNAL INITIATION ACTIVATED BY (ONE OR MORE):
 - 4.4.1. VALVE SUPERVISORY SWITCH.
 - 4.5. SYSTEM TROUBLE SIGNAL INITIATION ACTIVATED BY (ONE OR MORE):
 - 4.5.1. OPEN CIRCUITS, SHORTS, AND GROUNDS IN DESIGNATED CIRCUITS.
 - 4.5.2. OPENING, TAMPERING WITH, OR REMOVING ALARM-INITIATING AND SUPERVISORY DEVICES.
 - 4.5.3. LOSS OF COMMUNICATION WITH AN ADDRESSABLE SENSOR, INPUT MODE, RELAY, CONTROL MODULE, REMOTE ANNUNCIATOR, PRINTER INTERFACE, OR ETHERNET MODULE.
 - 4.5.4. LOSS OF PRIMARY POWER AT FIRE-ALARM CONTROL UNIT.
 - 4.5.5. GROUND OR A SINGLE BREAK IN INTERNAL CIRCUITS OF FIRE-ALARM CONTROL UNIT.
 - 4.5.6. ABNORMAL AC VOLTAGE AT FIRE-ALARM CONTROL UNIT.
 - 4.5.7. BREAK IN STANDBY BATTERY CIRCUITRY.
 - 4.5.8. FAILURE OF BATTERY CHARGING.
 - 4.5.9. ABNORMAL POSITION OF ANY SWITCH AT FIRE-ALARM CONTROL UNIT.
 - 4.6. SYSTEM SUPERVISORY SIGNAL ACTIONS
 - 4.6.1. INITIATE NOTIFICATION APPLIANCES
 - 4.6.2. IDENTIFY SPECIFIC DEVICE INITIATING THE EVENT AT FIRE-ALARM CONTROL UNIT AND REMOTE ANNUNCIATORS.
 - 4.6.3. AFTER TIME DELAY OF 200 SECONDS, TRANSMIT A TROUBLE OR SUPERVISORY SIGNAL TO THE REMOTE ALARM RECEIVING STATION.
5. **SYSTEM DEVICES [61G15-32.008-4(h)]:**
 - 5.1. ALL EXTERIOR EQUIPMENT SHALL BE OUTDOOR RATED & WATER RESISTANT.
 - 5.2. STROBES SHALL BE SYNCHRONIZED.
6. **WIRING [61G15-32.008-4(n)]:**
 - 6.1. WIRING METHODS SHALL BE FPLR RATED CABLE AND INSTALLED IN A CONDUIT RACE WAY.
 - 6.2. ANY FIRE ALARM MANUFACTURER SPECIFIC BACK BOX OR PANEL ENCLOSURE SHALL BE SUPPLIED BY THE FIRE ALARM CONTRACTOR. ALL OTHER BACK BOXES AND CONDUIT TO BE PROVIDED BY ELECTRICAL CONTRACTOR.
 - 6.3. WIRING SHALL BE PROTECTED FROM PHYSICAL DAMAGE AS REQUIRED BY NFPA70 ARTICLES 300 & 760. WIRE TYPE SHALL BE LISTED FOR ITS INTENDED USE BY AN APPROVAL AGENCY ACCEPTABLE TO THE AHJ AND SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROPRIATE ARTICLES FROM THE CURRENT APPROVED EDITION OF NFPA 70 : NEC.
 - 6.4. PROVIDE ONE TELEPHONE PORT AND ONE ETHERNET DROP ADJACEN TO THE FIRE CONTROL PANEL FOR COMMUNICATION TO CENTRAL MONITORING STATIONS. FIRE ALARM CONTRACTOR TO COORDINATE EXACT COMMUNICATION DEVICE (DIALER, NETWORK, RADIO, CELLULAR, ETC) WITH AUTHORITY HAVING JURISDICTION.
 - 6.5. FIRE ALARM CABLES INSTALLED IN DUCTS, PLENUM, AND OTHER SPACES USED FOR ENVIRONMENTAL AIR SHALL BE TYPE FPLP.
 - 6.6. FIRE ALARM CABLES INSTALLED IN UNDERGROUND CONDUIT OR OTHER WET LOCATIONS SHALL BE VL LISTED FOR WET LOCATION.
 - 6.7. ALL WIRING, INCLUDING SHIELDS MUST BE DRY AND FREE OF SHORTS AND GROUNDS.
 - 6.8. ALL SHIELDED WIRE MUST HAVE SHIELD CONTINUITY AT FULL LENGTH OF THE WIRE.
 - 6.9. ONLY SYSTEM WIRING CAN BE RUN IN THE SAME CONDUIT.
7. **ADDITIONAL REQUIREMENTS [61G15-32.008-4(o)]:**
 - 7.1. FIRE ALARM WORK, INCLUDING CHANGES, ADDITIONS, RELOCATIONS, IMPROVEMENTS, AND/OR MODIFICATIONS SHALL COMPLY WITH THE REQUIREMENTS OF NFPA 72.
 - 7.2. FIRE ALARM CONTRACTOR SHALL SUBMIT SEPARATE PERMIT.
 - 7.3. OWNERS DOCUMENTS, WHICH INCLUDE OPERATION INSTRUCTIONS, MAINTENANCE PROCEDURES, ANY INFORMATION TO ASSIST WITH THE UNDERSTANDING OF THE FIRE ALARM SYSTEM, SHALL BE PROVIDED THE CLOSE OUT DOCUMENTS AT THE COMPLETION OF THE JOB.
8. **TEST, INSPECTION, MAINTENANCE & DOCS. REQUIREMENTS [61G15-32.008-4]:**
 - 8.1. FIELD TEST SHALL BE WITNESSED BY AHJ.
 - 8.2. TEST AND INSPECTIONS TO BE PERFORMED:
 - 8.2.1. VISUAL INSPECTION - CONDUIT INSPECTION BEFORE TESTING
 - 8.2.1.1. INSPECTION SHALL BE BASED ON COMPLETED RECORD DRAWINGS AND SYSTEM DOCUMENTATION REQUIRED BY NFPA 72 SECTION 10.18.
 - 8.2.1.2. COMPLY WITH THE VISUAL INSPECTION FREQUENCIES (NFPA 72, TABLE 14.3.1); RETAIN THE "INITIALREACCEPTANCE" COLUMN AND LIST ONLY THE INSTALLED COMPONENTS.
 - 8.2.2. SYSTEM TESTING- COMPLY WITH TEST METHODS (NFPA 72, TABLE 14.4.2.2)
 - 8.2.3. FACTORY-AUTHORIZED SERVICE REPRESENTATIVE SHALL PREPARE DOCUMENTATION FOR THE INSPECTION AND TESTING MENTIONED ABOVE.
 - 8.3. RE-ACCEPTANCE TESTING- PERFORM RE-ACCEPTANCE TESTING TO VERIFY THE PROPER OPERATION OF ADDED OR REPLACED DEVICES AND APPLIANCES.
 - 8.4. FIRE ALARM SYSTEM WILL BE CONSIDERED DEFECTIVE IF IT DOESN'T PASS TESTS AND INSPECTIONS.
 - 8.5. PREPARE TESTS AND INSPECTIONS REPORTS.
 - 8.6. ANNUAL TEST AND INSPECTION- ONE YEAR AFTER DATE OF SUBSTANTIAL COMPLETION. FIRE-ALARM SYSTEM TEST COMPLYING WITH VISUAL AND TESTING INSPECTIONS REQUIREMENTS IN NFPA 72 SHALL BE PERFORMED. USE FORMS DEVELOPED FOR INITIAL TEST AND INSPECTION.
 - 8.7. INITIAL MAINTENANCE SERVICE- BEGINNING AT SUBSTANTIAL COMPLETION, MAINTENANCE SHALL INCLUDE 12 MONTHS FULL MAINTENANCE BY SKILLED EMPLOYEES OF MANUFACTURER'S DESIGNATED SERVICE ORGANIZATION.
 - 8.7.1. INCLUDE PREVENTIVE MAINTENANCE, REPAIR OR REPLACEMENT OF WORN OR DEFECTIVE COMPONENTS, LUBRICATION CLEANING, AND ADJUSTING AS REQUIRED.
 - 8.7.2. PARTS AND SUPPLIES SHALL BE MANUFACTURER'S AUTHORIZED REPLACEMENT PARTS AND SUPPLIES.
 - 8.7.3. PERFORM INSPECTION AND TESTING IN COMPLIANCE WITH NFPA 72 TABLE 14.3.1 AND TABLE 14.4.2.2 RESPECTIVELY.

SEQUENCE OF OPERATION

[61G15-32.008-4(e)]

1. OPERATION OF A MANUAL PULL STATION WILL DO THE FOLLOWING:
 - ACTIVATE THE SPEAKERS AND STROBES ON THE FLOOR, FLOOR ABOVE AND FLOOR BELOW
 - ANNUNCIATE DEVICE IN ALARM AT LCD DISPLAY AT FIRE ALARM CONTROL PANEL (FACP) AND REMOTE ANNUNCIATOR(S).
 - TRANSMIT ALARM SIGNAL TO CENTRAL OFFICE VIA DIGITAL TRANSMITTER.
2. OPERATION OF AN AREA SMOKE DETECTOR OR DUCT SMOKE DETECTOR WILL DO THE FOLLOWING:
 - ACTIVATE THE SPEAKERS AND STROBES ON THE FLOOR, FLOOR ABOVE AND FLOOR BELOW
 - ANNUNCIATE DEVICE IN ALARM AT LCD DISPLAY AT FIRE ALARM CONTROL PANEL (FACP) AND REMOTE ANNUNCIATOR(S).
 - TRANSMIT ALARM SIGNAL TO CENTRAL OFFICE VIA DIGITAL TRANSMITTER.
 - STOP ALL FANS 2000 C.F.M. AND GREATER SERVING THE FLOOR IN ALARM.
 - CLOSE ASSOCIATED FIRE SMOKE/SMOKE DAMPERS
 - OPERATE ALL DOOR RELEASES AT EGRESS DOORS.
3. OPERATION OF A WATERFLOW SWITCH, ELEVATOR LOBBY OR ELEVATOR MACHINE ROOM SMOKE DETECTOR WILL DO THE FOLLOWING:
 - ACTIVATE THE SPEAKERS AND STROBES ON THE FLOOR, FLOOR ABOVE AND FLOOR BELOW
 - ANNUNCIATE DEVICE IN ALARM AT LCD DISPLAY AT FIRE ALARM CONTROL PANEL (FACP) AND REMOTE ANNUNCIATOR(S).
 - TRANSMIT ALARM SIGNAL TO CENTRAL OFFICE VIA DIGITAL TRANSMITTER.
 - STOP ALL FANS 2000 C.F.M. AND GREATER SERVING THE FLOOR IN ALARM.
 - CLOSE ASSOCIATED FIRE SMOKE/SMOKE DAMPERS
 - OPERATE ALL DOOR RELEASES AT EGRESS DOORS.
 - RETURN ALL AUTOMATIC ELEVATORS TO RECALL FLOOR.
4. OPERATION OF A ELEVATOR MACHINE ROOM OR TOP OF SHAFT HEAT DETECTOR WILL DO THE FOLLOWING:
 - SHUNT TRIP THE ELEVATORS COVERED BY THIS EQUIPMENT AFTER THE ELEVATOR RETURNS AND REACHES THE RECALL FLOOR.
5. OPERATION OF A SPRINKLER VALVE TAMPER SWITCH OR OTHER SUPERVISORY POINT WILL CAUSE THE FOLLOWING:
 - ACTIVATE THE SPEAKERS AND STROBES ON THE FLOOR, FLOOR ABOVE AND FLOOR BELOW
 - ANNUNCIATE SUPERVISORY SIGNAL AT LCD DISPLAY AT FIRE ALARM CONTROL PANEL (FACP) AND REMOTE ANNUNCIATOR(S).
 - TRANSMIT SUPERVISORY SIGNAL TO CENTRAL OFFICE VIA DIGITAL TRANSMITTER.
6. OPERATION OF A GENERAL TROUBLE i.e.: OPEN ON FIELD WIRING INTERNAL FAULTS:
 - ANNUNCIATE TROUBLE SIGNAL AT LCD DISPLAY AT FIRE ALARM CONTROL PANEL (FACP) AND REMOTE ANNUNCIATOR(S).
 - TRANSMIT TROUBLE SIGNAL TO CENTRAL OFFICE VIA DIGITAL TRANSMITTER.
7. OPERATION OF A FIRE PUMP MONITORING DEVICE SHALL:
 - PHASE REVERSAL: DISPLAY A TROUBLE CONDITION WITH A "FIRE PUMP PHASE REVERSAL" MESSAGE ON LCD DISPLAY AT FIRE ALARM CONTROL PANEL (FACP) AND REMOTE ANNUNCIATOR(S).
 - PUMP RUNNING: DISPLAY A NON-ALARM CONDITION WITH A "FIRE PUMP RUNNING" MESSAGE ON LCD DISPLAY AT FIRE ALARM CONTROL PANEL (FACP) AND REMOTE ANNUNCIATOR(S).
 - PUMP LOST POWER: DISPLAY A NON-ALARM CONDITION WITH A "FIRE PUMP LOST POWER" MESSAGE ON LCD DISPLAY AT FIRE ALARM CONTROL PANEL (FACP) AND REMOTE ANNUNCIATOR(S).
8. OPERATION OF A GENERATOR MONITORING DEVICE WILL DO THE FOLLOWING:
 - GENERATOR RUNNING: DISPLAY A "GENERATOR RUNNING" MESSAGE ON LCD DISPLAY AT FIRE ALARM CONTROL PANEL (FACP) AND REMOTE ANNUNCIATOR(S).
 - GENERATOR TROUBLE: DISPLAY A TROUBLE CONDITION WITH A "GENERATOR TROUBLE" MESSAGE ON LCD DISPLAY AT FIRE ALARM CONTROL PANEL (FACP) AND REMOTE ANNUNCIATOR(S).
 - GENERATOR LOW FUEL: DISPLAY A TROUBLE CONDITION WITH A "GENERATOR LOW FUEL" MESSAGE ON LCD DISPLAY AT FIRE ALARM CONTROL PANEL (FACP) AND REMOTE ANNUNCIATOR(S).
9. OPERATION OF A CO DETECTOR WILL DO THE FOLLOWING:
 - ACTIVATE THE LOCAL INTERNAL SOUNDER
 - DISPLAY A SUPERVISORY CONDITION WITH A "CO DETECTOR" MESSAGE ON LCD DISPLAY AT FIRE ALARM CONTROL PANEL (FACP) AND REMOTE ANNUNCIATOR(S).

SCOPE OF WORK

[61G15-32.008-4(a)]

- THE FIRE ALARM SCOPE OF WORK INCLUDES BUT IS NOT LIMITED TO:
1. THE EXISTING FIRE ALARM SYSTEM CAN REMAIN IN PLACE.
 2. STROBES LOCATED IN THE MENS RESTROOM AND LOCKER ROOM SHALL BE RELOCATED DUE TO REMODEL.
 3. STROBES LOCATED IN WOMENS'S RESTROOM AND LOCKER ROOM SHALL BE RELOCATED DUE TO REMODEL.
- ALL EQUIPMENT MUST BE UL LISTED AND IN COMPLIANCE WITH APPLICABLE CODES AND AHJ. EXISTING FIRE ALARM SYSTEM MUST REMAIN 100% OPERATIONAL AT ALL TIMES DURING RENOVATION/RELOCATION. VERIFY THAT THE EXISTING FIRE ALARM EQUIPMENT RELOCATED IS COMPATIBLE WITH THE EXISTING PANELS PANELS AND DEVICES.

APPLICABLE BUILDING CODES

[61G15-32.008-2]

FLORIDA BUILDING CODE - 8TH EDITION 2023
FLORIDA FIRE PREVENTION CODE - 8TH EDITION 2023
NFPA 1, FLORIDA 2021 EDITION
NFPA 72, 2019 EDITION
NFPA 70, 2020 EDITION
NFPA 101, FLORIDA 2021 EDITION

FIRE ALARM SYMBOL LEGEND

[61G15-32.008-4(a)]

CD	COMBINATION HORN STROBE (WALL MTD) CD = CANDELA RATING		MOTORIZED SMOKE DAMPER
CD	COMBINATION HORN STROBE (CEILING MTD) CD = CANDELA RATING		INPUT MONITOR MODULE
	HORN DEVICE (WALL MTD)		OUTPUT CONTROL MODULE
	HORN DEVICE (CEILING MTD)		REMOTE ALARM INDICATING AND TEST SWITCH
CD	VISUAL STROBE DEVICE (WALL MTD) CD = CANDELA RATING		WATER FLOW SWITCH
CD	VISUAL STROBE DEVICE (CEILING MTD) CD = CANDELA RATING		TAMPER SWITCH
CD	COMBINATION SPEAKER STROBE (WALL MTD) CD = CANDELA RATING, W = WATTAGE TAP LF = 520HZ LOW FREQUENCY		FIRE ALARM CONNECTION TO MAGENITIC DOOR HOLDER
CD	COMBINATION SPEAKER STROBE (CEILING MTD) CD = CANDELA RATING, W = WATTAGE TAP LF = 520HZ LOW FREQUENCY		FIRE SERVICE OR EMERGENCY PHONE STATION HANDSET
	SPEAKER DEVICE (WALL MTD) W = WATTAGE TAP, LF = 520HZ LOW FREQUENCY		FIRE SERVICE OR EMERGENCY PHONE STATION JACK
	SPEAKER DEVICE (CEILING MTD) W = WATTAGE TAP, LF = 520HZ LOW FREQUENCY		AREA OF REFUGE EMERGENCY COMMUNICATION SYSTEM MASTER UNIT
	MANUAL PULL STATION		AREA OF REFUGE EMERGENCY COMMUNICATION SYSTEM REMOTE UNIT
	SMOKE DETECTOR (CEILING MTD) PHOTOELECTRIC TYPE		HVAC EXHAUST & STAIRWELL PRESSURIZATION CONTROL PANEL
	SMOKE DETECTOR (WALL MTD) PHOTOELECTRIC TYPE		ELEVATOR STATUS/RECALL
	COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR (WALL MTD), PROVIDE SOUNDER BASE FOR CARBON MONOXIDE DETECTOR.		FIRE ALARM ANNUNCIATOR
	SMOKE ALARM (CEILING MTD) SINGLE STATION W/ SOUNDER BASE		FIRE ALARM CONTROL PANEL
	SMOKE ALARM (WALL MTD) SINGLE STATION W/ SOUNDER BASE		FIREFIGHTER SMOKE CONTROL PANEL
	HEAT DETECTOR (CEILING MTD) F = FIXED TEMPERATURE D = DUAL REPORTING/TEMP MONITORING		NOTIFICATION CIRCUIT POWER BOOSTER
	CARBON MONOXIDE DETECTOR (CEILING MTD)		DATA GATHERING PANEL
	DUCT SMOKE DETECTOR		SURGE SUPPRESSOR
	COMBINATION SMOKE/HEAT DETECTOR (CEILING MTD)		DIGITAL ALARM COMMUNICATOR TRANSMITTER

NOTE: NOT ALL SYMBOLS MAY APPLY TO PLANS

FIRE ALARM LEGEND

- NEW WORK.
- EXISTING TO BE REMOVED (DEMO).
- EXISTING TO REMAIN.

Call 48 hours before you dig

It's the Law!

1-800-432-4770

Sunshine State One Call of Florida, Inc.

FIRE ALARM SHEET INDEX

FA-0.00	FIRE ALARM COVER SHEET
FA-1.01	FIRE ALARM PLAN

REG
ARCHITECTS
since 1988



Rick Gonzalez, AIA
President

FL License AR0014172
120 South Olive Ave. Ste. 210,
West Palm Beach, FL 33401
P (561) 659-2383
www.regarchitects.com

DAVID B. FARBER BUILDING
RENOVATION

1050 ROYAL PALM BEACH
BLVD. ROYAL PALM BEACH, FL,
33411

NO. DATE DESCRIPTION

2 01/10/25 Addendum #3

DATE DATE: 12/13/2024

MODELED CA

CHECKED MA/REG

PROJECT # 24009

© REG 2024

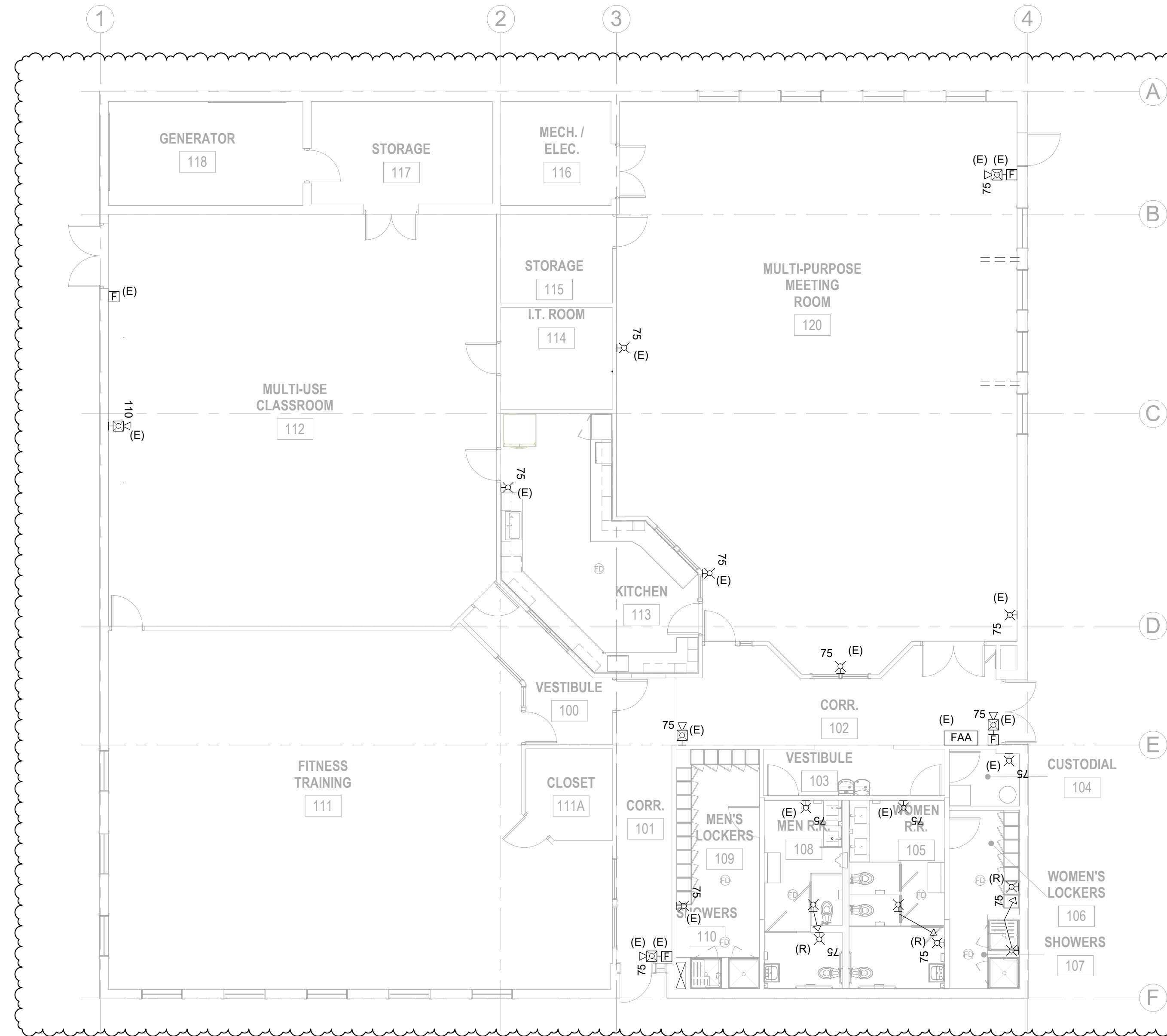
OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

FIRE ALARM COVER SHEET

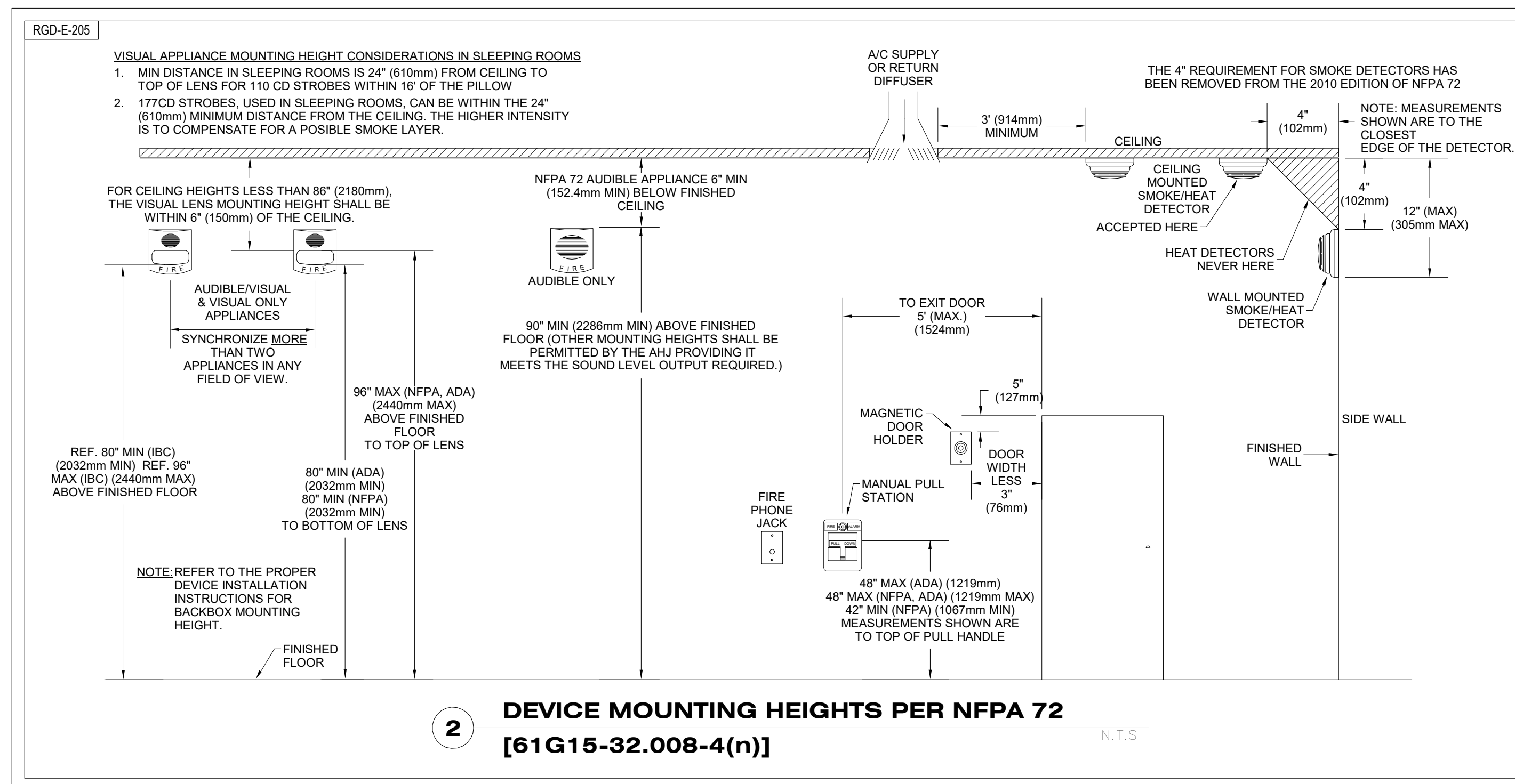
RGD
CONSULTING
ENGINEERS
JUPITER | ORLANDO
561-743-0165 | 407-945-9630
WWW.RGDENGINEERS.COM
2151 ALT 1A #2000, JUPITER, FL 33477
CERT OF AUTH 5454

PERMIT SET

FA-0.00



1 FIRE ALARM PLAN
1/8" = 1'-0"



Rick Gonzalez, AIA
President

FL License AR0014172
120 South Olive Ave. Ste. 210,
West Palm Beach, FL 33401
P (561) 659-2383
www.regarchitects.com

DAVID B. FARBER BUILDING
RENOVATION

1050 ROYAL PALM BEACH
BLVD. ROYAL PALM BEACH, FL,
33411

NO.	DATE	DESCRIPTION
2	01/10/25	Addendum #3

DATE: 12/13/2024

MODELED CA

CHECKED MA/REG

PROJECT # 24009

© REG 2024

OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

FIRE ALARM PLAN



Rick Gonzalez, AIA
President
FL License AR0014172
120 South Olive Ave. Ste. 210,
West Palm Beach, FL 33401
P (561) 659-2383
www.regarchitects.com

DAVID B. FARBER BUILDING
RENOVATION

1050 ROYAL PALM BEACH
BLVD. ROYAL PALM BEACH, FL,
33411

NO.	DATE	DESCRIPTION
1	01/09/25	Addendum #3

DATE DATE: 12/13/2024

MODELED CA

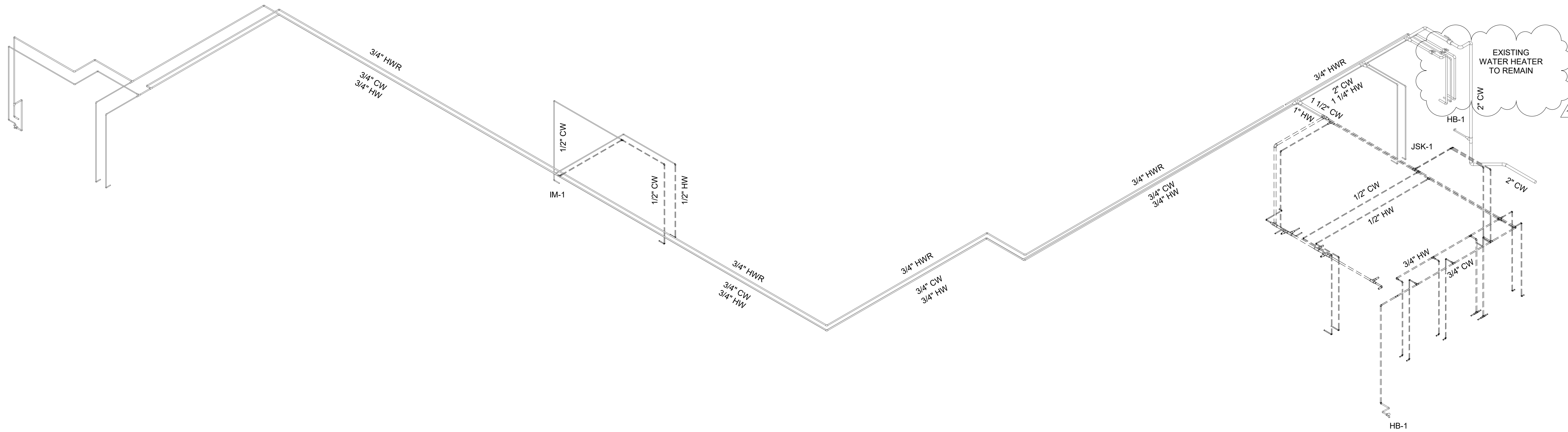
CHECKED MA/REG

PROJECT # 24009

© REG 2024

OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

PRESSURE PIPING - OVERALL ISOMETRIC PLAN - EXISTING



1 PRESSURE PIPING OVERALL ISOMETRIC - EXISTING

PLUMBING KEYNOTES

- 1 CONTRACTOR TO LOCATE EXACT LOCATION OF FIXTURES AND PLUMBING CONNECTIONS. DEMOLISH DRAIN PIPING ABOVE SLAB AND CAP BELOW GRADE. DEMOLISH VENT PIPING AND ABANDON DRAIN PIPING UNDER THE SLAB. DEMOLISH COLD AND/OR HOT WATER SUPPLY PIPING AND CAP CEILING CAVITY. DISPOSE OF ALL DEMOLISHED FIXTURES, PIPING & MATERIALS. ENSURE NO DEAD-END SANITARY OR DOMESTIC WATER PIPES REMAIN IN THE FINISHED PLUMBING SYSTEM (TO AVOID STAGNATION & HEALTH ISSUE). DEMOLISH EXISTING FIXTURE. PIPING CONNECTIONS TO BE REUSED.
- 2 EXISTING PLUMBING FIXTURE. DEMOLISH FIXTURE AND PIPING. CONTRACTOR TO VERIFY EXACT LOCATION OF FIXTURE AND PIPING.
- 3 DEMOLISH PIPING THAT IS NOT USED IN ACCORDANCE TO NEW DRAWINGS.

REG
ARCHITECTS
since 1988



Rick Gonzalez, AIA
President
FL License AR0014172
120 South Olive Ave. Ste. 210,
West Palm Beach, FL 33401
P (561) 659-2383
www.regarchitects.com

DAVID B. FARBER BUILDING
RENOVATION

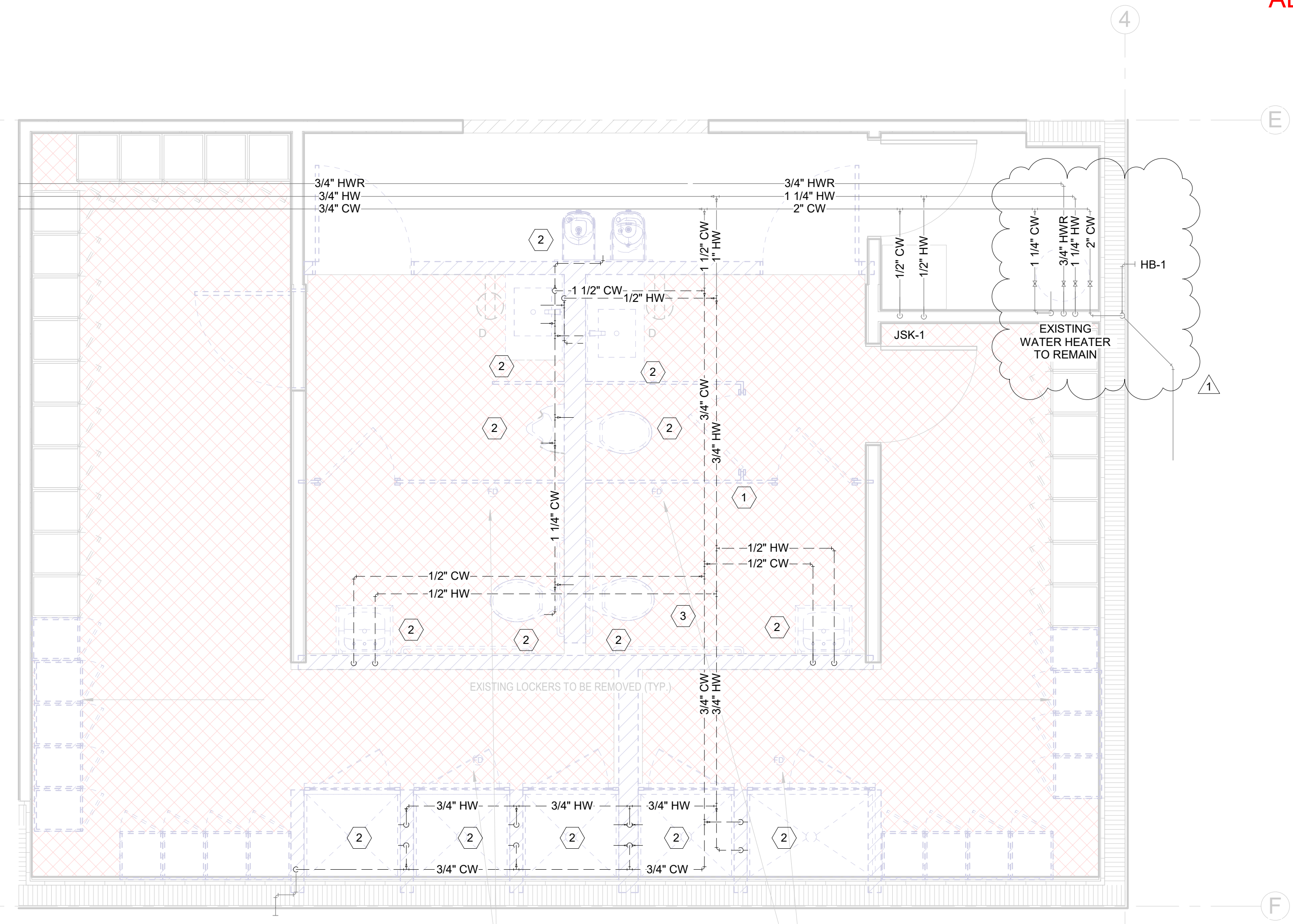
1050 ROYAL PALM BEACH
BLVD. ROYAL PALM BEACH, FL,
33411

NO.	DATE	DESCRIPTION
1	01/09/25	Addendum #3

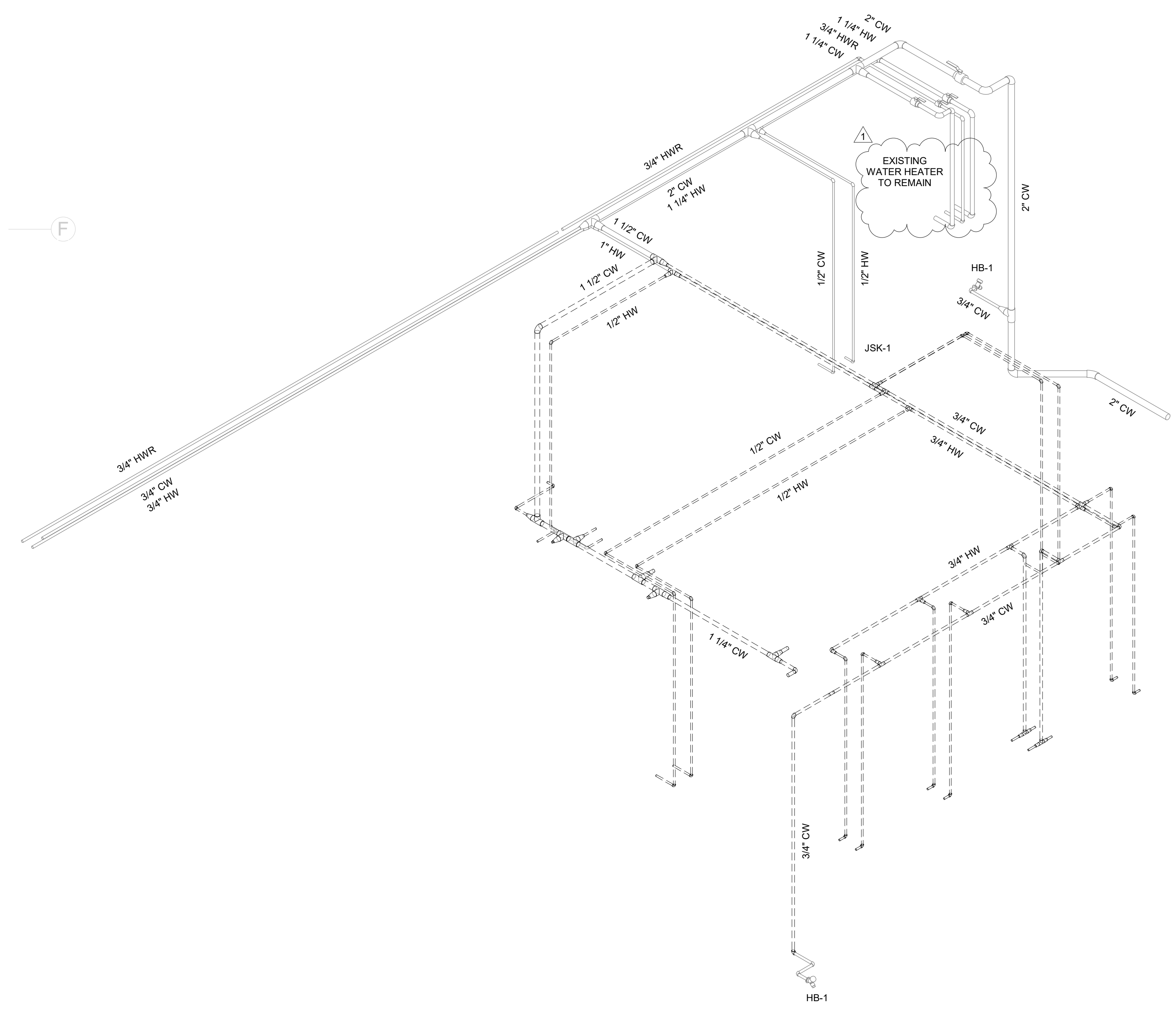
DATE	DATE: 12/13/2024
MODELED	CA
CHECKED	MA/REG
PROJECT #	24009
© REG 2024	

OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

PRESSURE PIPING - ENLARGED PLAN - EXISTING BATHROOM



1 PRESSURE PIPING - ENLARGED VIEW - EXISTING BATHROOM
3/8" = 1'-0"



2 PRESSURE PIPING ENLARGED ISOMETRIC - EXISTING BATHROOM

RGD
CONSULTING
ENGINEERS
JUPITER | ORLANDO
561-743-0165 | 407-845-9630
WWW.RGDCONSULTING.COM
2151 ALT A1A #2000, JUPITER, FL 33477
CERT OF AUTH 5454

PERMIT SET

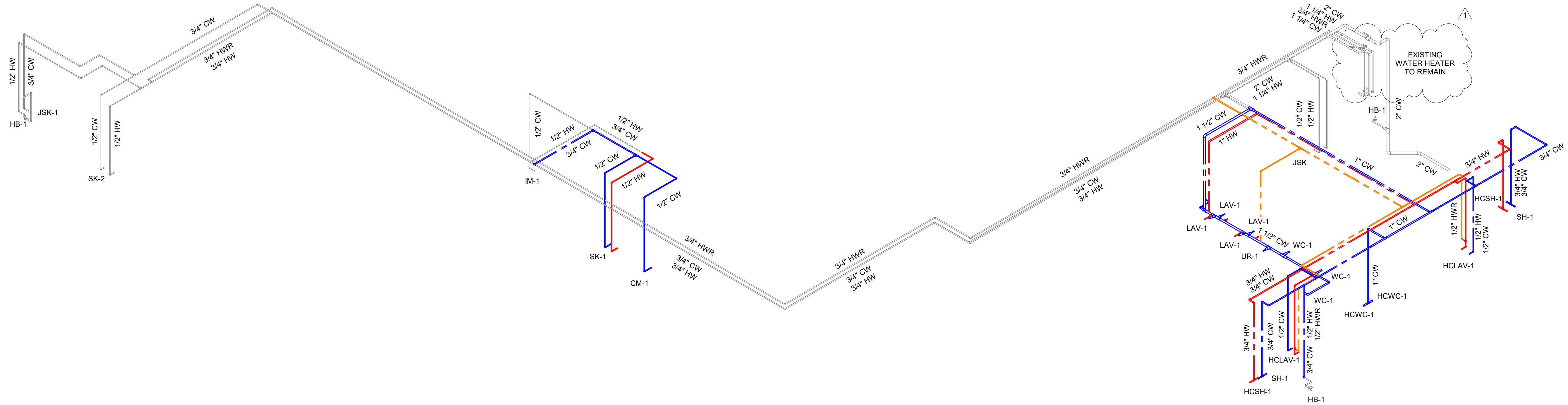
P-1.13



Rick Gonzalez, AIA
President
FL License AR0014172
120 South Olive Ave. Ste. 210,
West Palm Beach, FL 33401
P (561) 659-2383
www.regarchitects.com

DAVID B. FARBER BUILDING
RENOVATION

1050 ROYAL PALM BEACH
BLVD. ROYAL PALM BEACH, FL,
33411



1 PRESSURE PIPING OVERALL
ISOMETRIC - NEW

NO.	DATE	DESCRIPTION
1	01/09/25	Addendum #3

DATE	DATE: 12/13/2024
MODELED	CA
CHECKED	MA/REG
PROJECT #	24009
© REG 2024	

OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

PRESSURE PIPING - OVERALL
ISOMETRIC PLAN - NEW

RGD
CONSULTING
ENGINEERS
JUPITER | ORLANDO
561-743-0165 | 407-845-9630
WWW.RGDCONSULTING.COM
2151 ALT A1A #2000, JUPITER, FL 33477
CERT OF AUTH 5454

PERMIT SET

P-1.15

PLUMBING KEYNOTES

- 1 CONTRACTOR TO SCOPE AND VERIFY EXACT LOCATIONS OF EXISTING WATER SERVICE AND DOMESTIC WATER CONNECTIONS. CONNECT NEW LINES TO EXISTING MAIN LINE ABOVE CEILING. NOTIFY PROJECT ENGINEER IF FIELD CONDITIONS DO NOT MATCH DESIGN INTENT PRIOR TO CONSTRUCTION.
- 2 INSTALL SHUT OFF VALVE AT LOCATION.
- 3 EXISTING PLUMBING FIXTURE AND PIPING TO REMAIN IN PLACE. NO PLUMBING WORK REQUIRED AT LOCATION.
- 4 INSTALL PLUMBING FIXTURE AND NECESSARY PIPING TO CONNECT TO EXISTING LINE.
- 5 PROVIDE LEONARD 270-LF MIXING VALVE OR EQUIVALENT ASSE 1070 AND ASSE 1017 COMPLIANT MIXING VALVE (OUTLET TEMPERATURE LIMITED TO 109), WHICH ARE INSTALLED TO REDUCE WATER TEMPERATURE TO DEFINE LIMITS, SHALL BE INSTALLED AT THE FIXTURE.

REG
ARCHITECTS
since 1988



Rick Gonzalez, AIA
President
FL License AR0014172
120 South Olive Ave. Ste. 210,
West Palm Beach, FL 33401
P (561) 659-2383
www.regarchitects.com

DAVID B. FARBER BUILDING
RENOVATION

1050 ROYAL PALM BEACH
BLVD. ROYAL PALM BEACH, FL,
33411

NO.	DATE	DESCRIPTION
1	01/09/25	Addendum #3

DATE	DATE: 12/13/2024
MODELED	CA
CHECKED	MA/REG
PROJECT #	24009
© REG 2024	

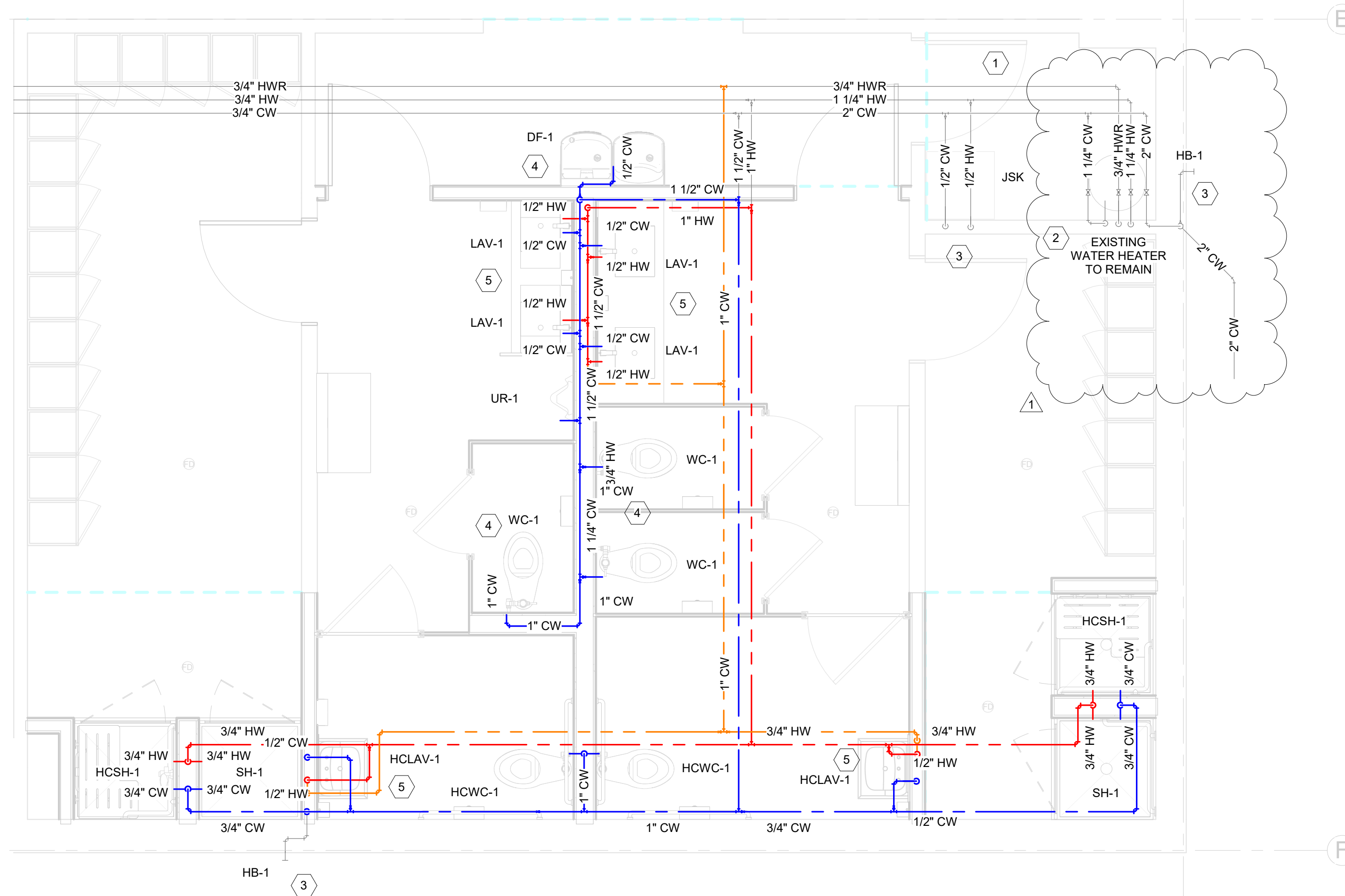
OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

PRESSURE PIPING - ENLARGED PLAN - NEW

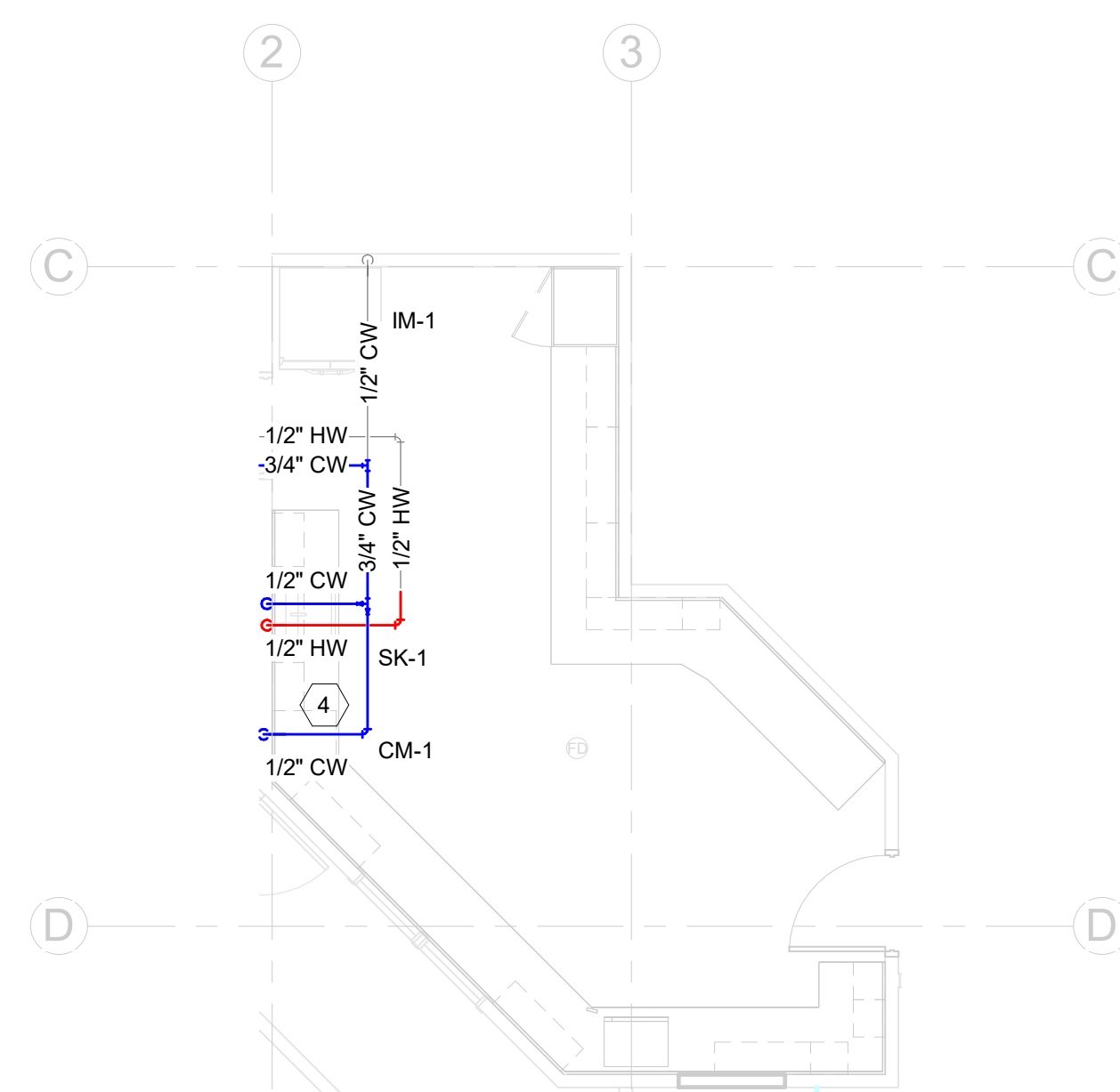
RGD
CONSULTING
ENGINEERS
JUPITER | ORLANDO
561-743-0165 | 407-845-9630
WWW.RGDCONSTRUCTORS.COM
2151 ALT A1A #2000, JUPITER, FL 33477
CERT OF AUTH 5454

PERMIT SET

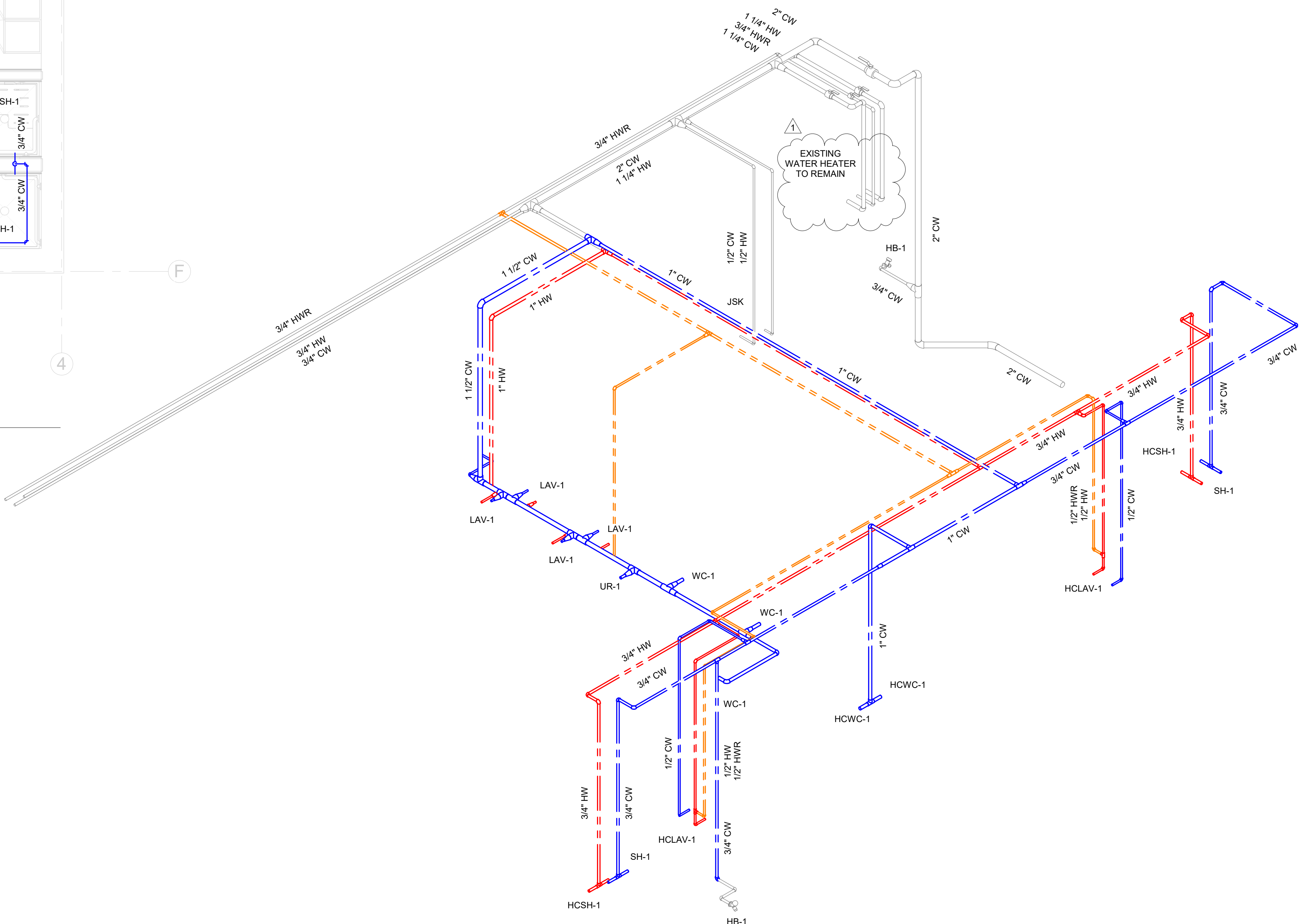
P-1.16



1 PRESSURE PIPING - ENLARGED VIEW - NEW BATHROOM
3/8" = 1'-0"



2 PRESSURE PIPING - ENLARGED VIEW - NEW KITCHEN
3/16" = 1'-0"



2 PRESSURE PIPING ENLARGED ISOMETRIC - NEW BATHROOM

PERMIT SET

SANITARY DEMAND			
(BASED ON FBC 8TH EDITION (2023) PLUMBING, TABLE 709.1)			
DESCRIPTION	#	DFU EA.	TOTAL DFU
DRINKING FOUNTAIN	1	0.5	0.5
FLOOR DRAIN	5	2	10.0
JANITOR SINK	1	2	2.0
KITCHEN SINK, DOMESTIC	1	2	2.0
LAVATORY	6	1	6.0
SHOWER (≤ 5.7 GPM)	4	2	8.0
URINAL (≤ 1 GAL/FLUSH)	1	2	2.0
WATER CLOSET, PUBLIC (≤ 1.6 GPF)	5	4	20.0
TOTAL =			50.5

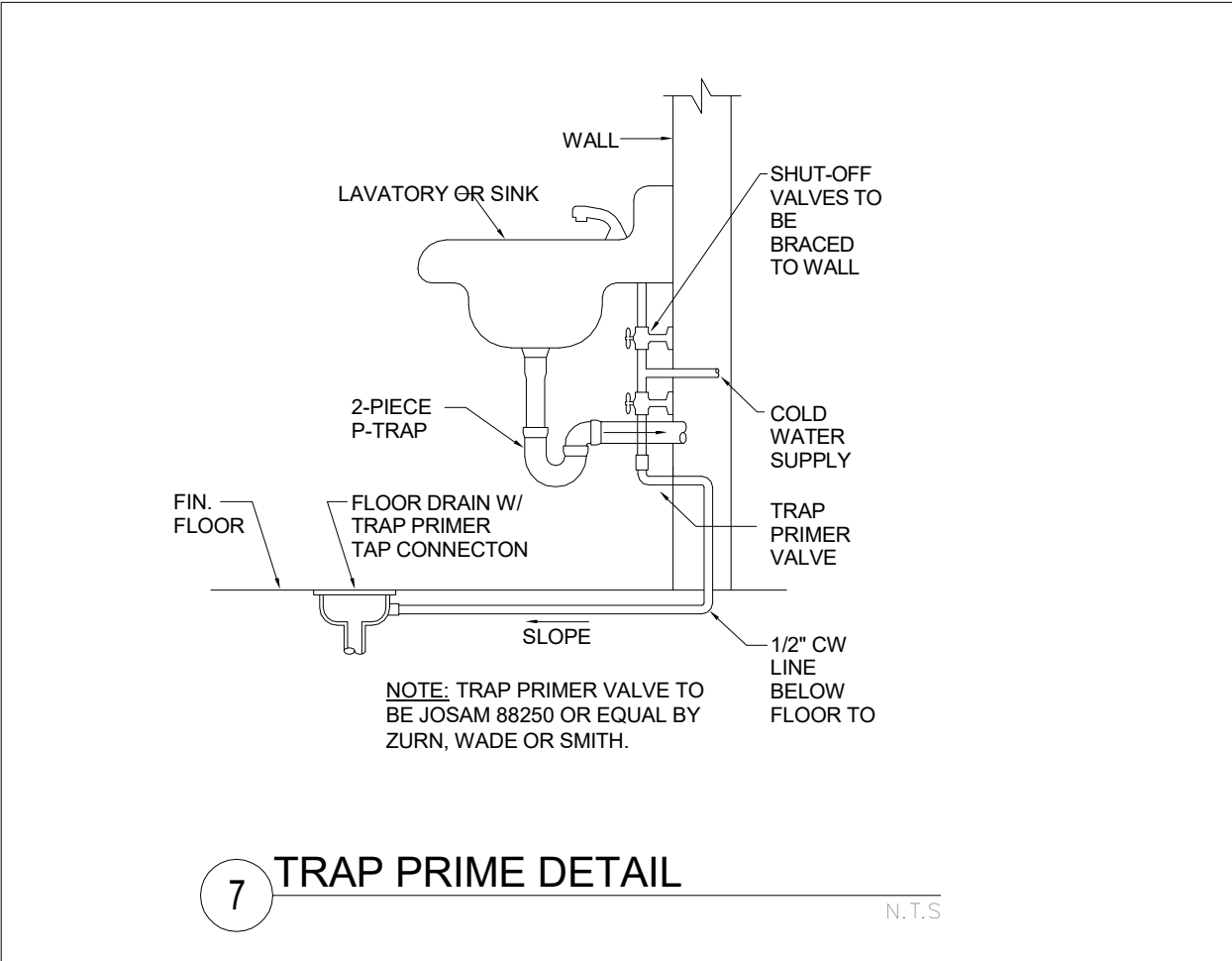
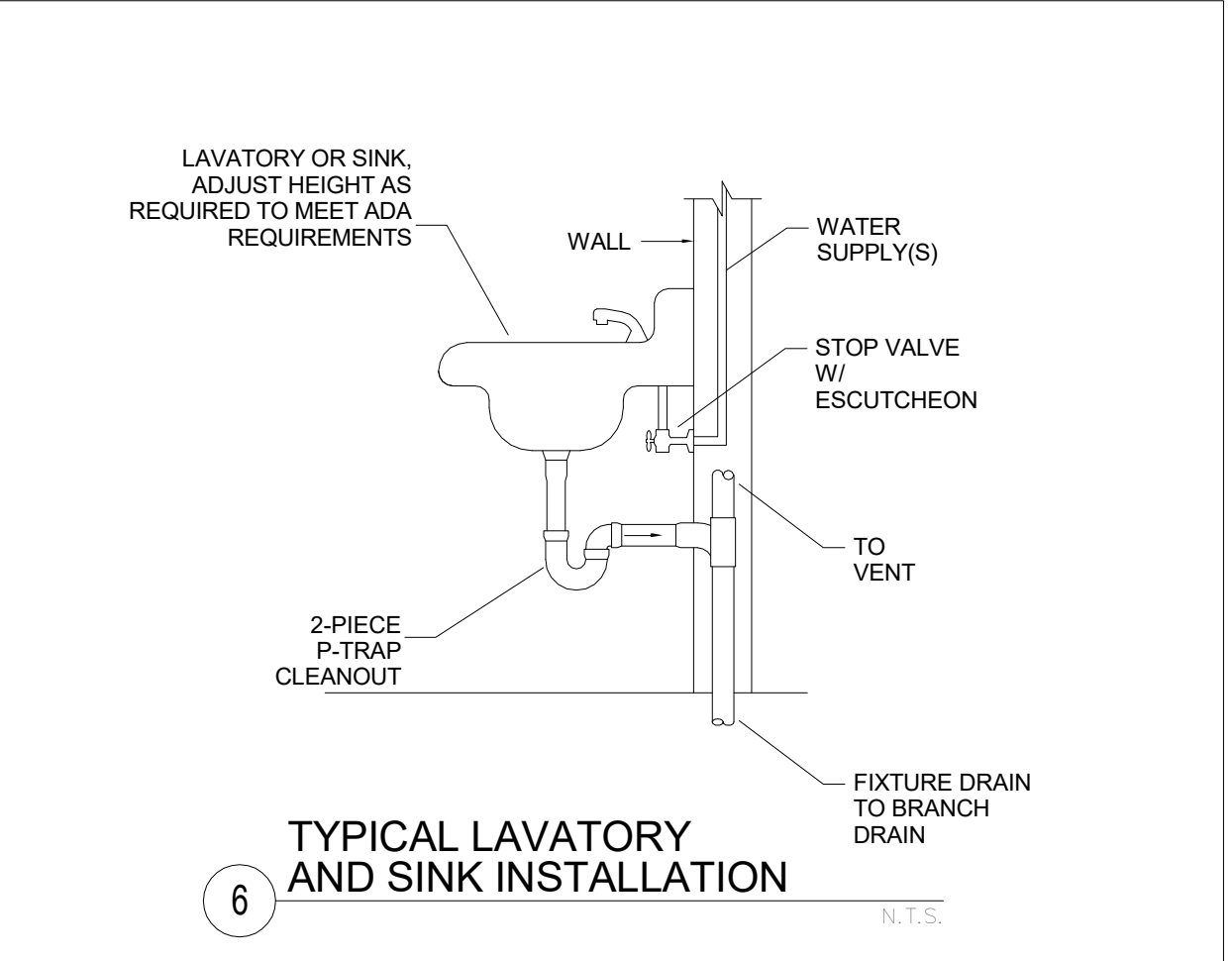
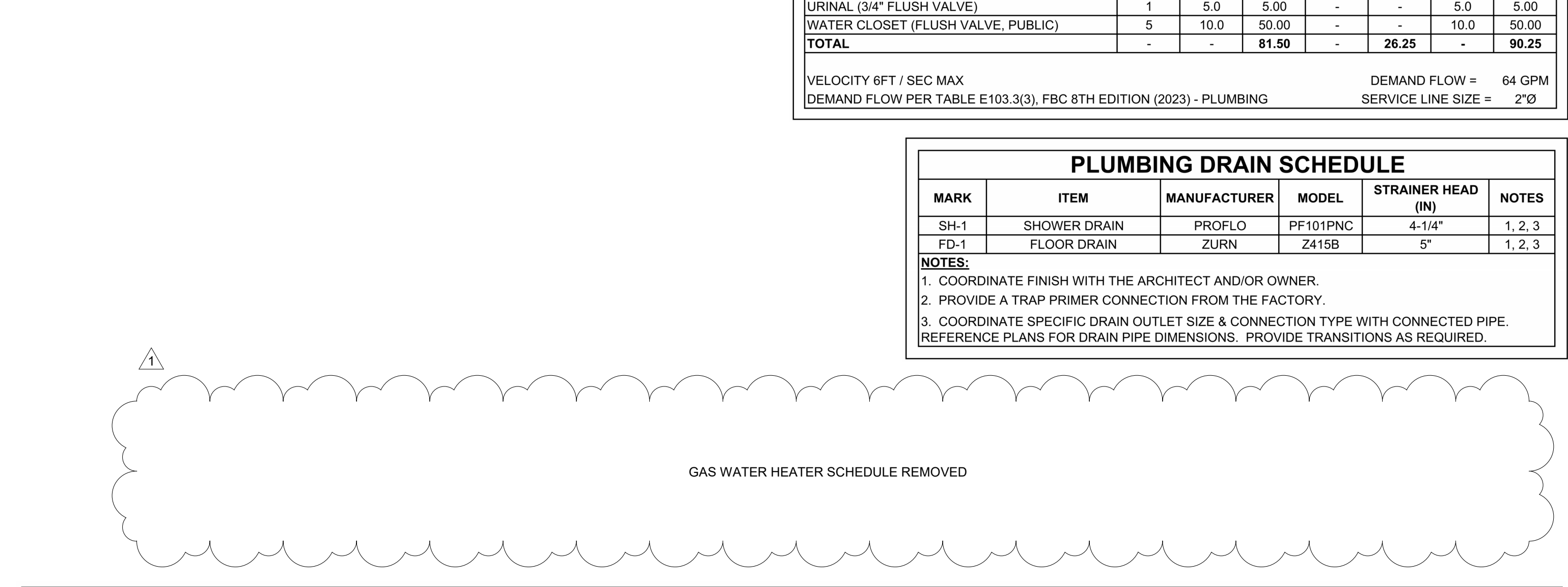
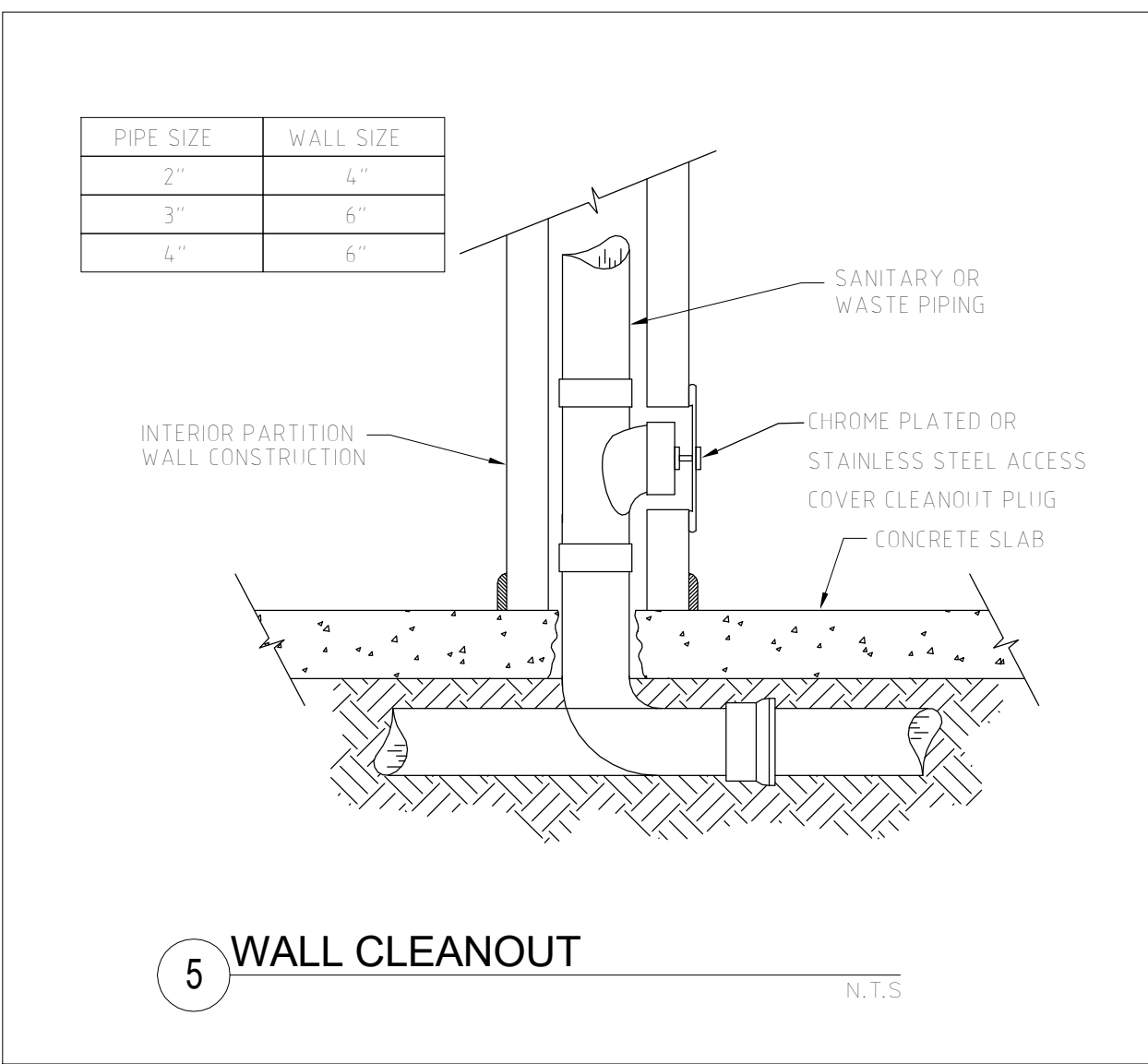
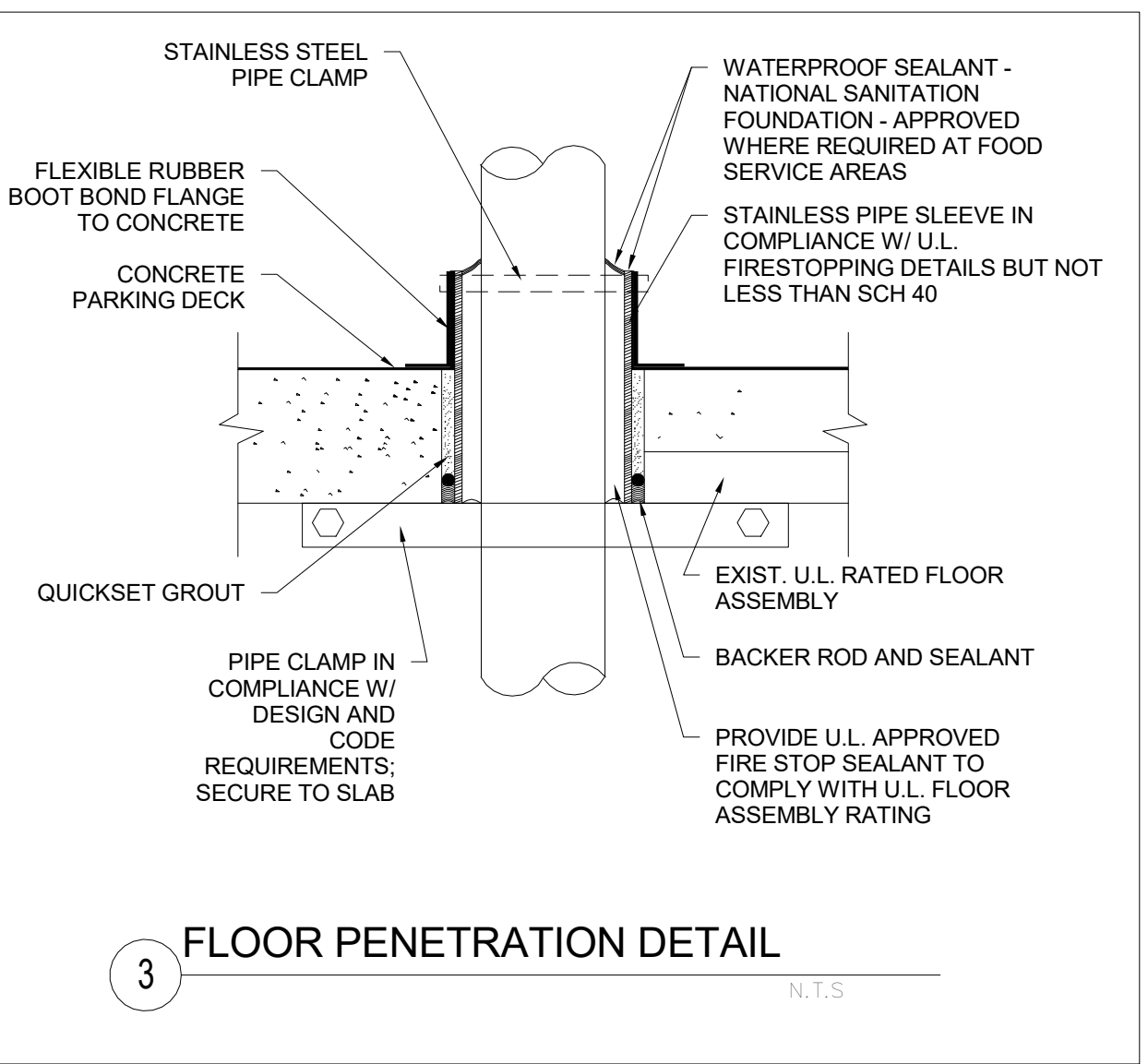
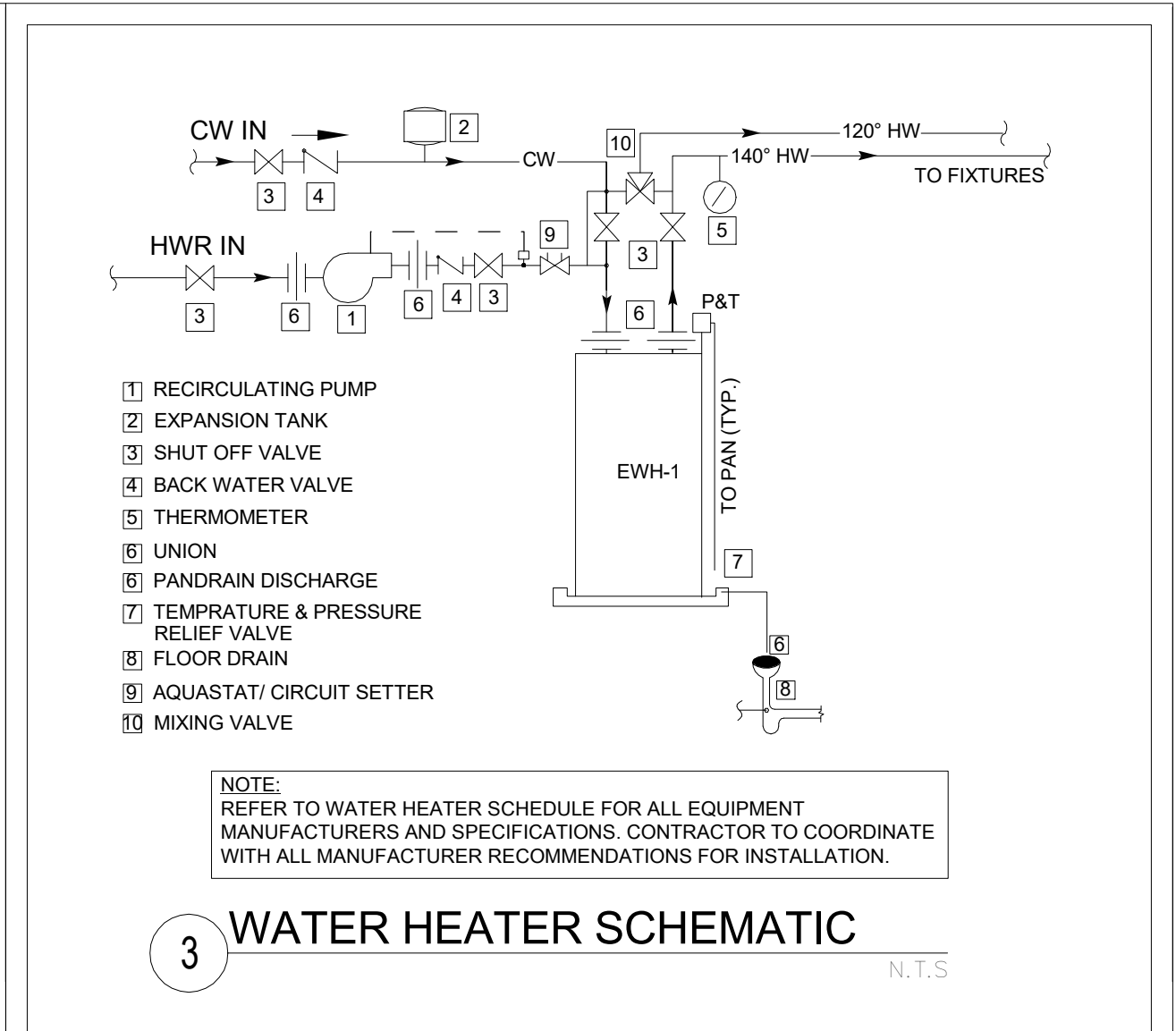
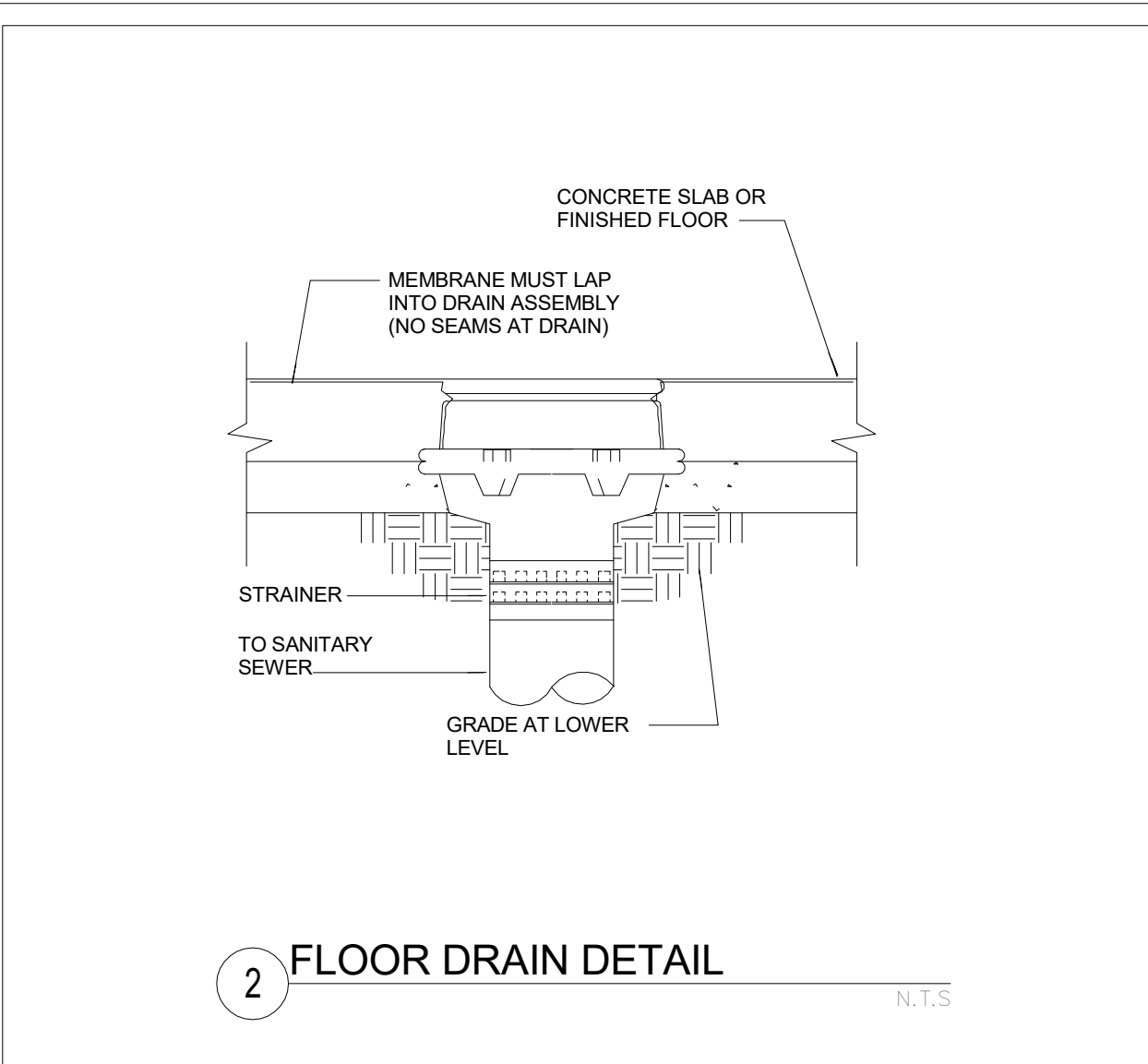
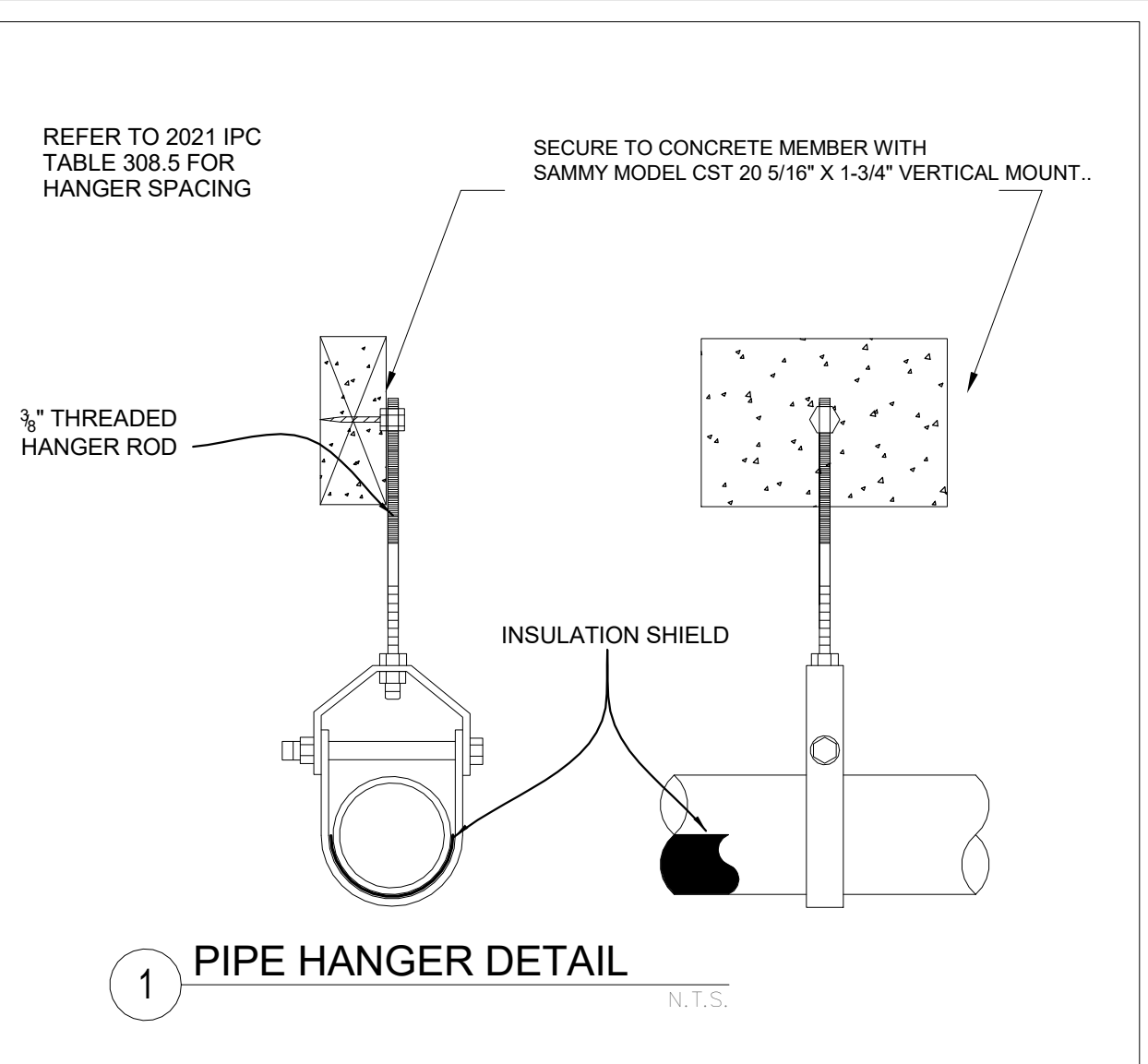
MAXIMUM ALLOWABLE BUILDING DRAIN SIZE @ 1/8" / FT:
 FLORIDA BUILDING CODE 8TH EDITION (2023) - PLUMBING, TABLE 710.1(1))
 3" = 36 FU
 4" = 180 FU
 6" = 700 FU
 8" = 1600 FU
 10" = 2900 FU

DOMESTIC WATER DEMAND						
PER TABLE E103.3(2), FBC 8TH EDITION (2023) - PLUMBING						
DESCRIPTION	QTY	COLD		HOT		TOTAL WSFU
		EACH	TOTAL	EACH	TOTAL	
BATHROOM GROUP (PRIVATE, FLUSH VALVE)	0	6.0	0.00	3.0	0.00	8.0
DRINKING FOUNTAIN	1	0.25	0.25	-	-	0.25
JANITOR SINK	1	2.25	2.25	2.25	2.25	3.0
KITCHEN FIXTURE (MEDIUM FLOW)	1	1.5	1.50	1.5	1.50	2.0
KITCHEN HAND SINK	1	1.5	1.50	1.5	1.50	2.0
LAVATORY (PUBLIC)	6	1.5	9.00	1.5	9.00	2.0
SHOWER HEAD (PUBLIC)	4	3.0	12.00	3.0	12.00	4.0
URINAL (3/4" FLUSH VALVE)	1	5.0	5.00	-	-	5.0
WATER CLOSET (FLUSH VALVE, PUBLIC)	5	10.0	50.00	-	-	10.0
TOTAL			81.50		26.25	90.25

VELOCITY 6FT / SEC MAX
 DEMAND FLOW PER TABLE E103.3(3), FBC 8TH EDITION (2023) - PLUMBING
 DEMAND FLOW = 64 GPM
 SERVICE LINE SIZE = 2"Ø

PLUMBING DRAIN SCHEDULE					
MARK	ITEM	MANUFACTURER	MODEL	STRAINER HEAD (IN)	NOTES
SH-1	SHOWER DRAIN	PROFLO	PF101PNC	4-1/4"	1, 2, 3
FD-1	FLOOR DRAIN	ZURN	Z415B	5"	1, 2, 3

NOTES:
 1. COORDINATE FINISH WITH THE ARCHITECT AND/OR OWNER.
 2. PROVIDE A TRAP PRIMER CONNECTION FROM THE FACTORY.
 3. COORDINATE SPECIFIC DRAIN OUTLET SIZE & CONNECTION TYPE WITH CONNECTED PIPE. REFERENCE PLANS FOR DRAIN PIPE DIMENSIONS. PROVIDE TRANSITIONS AS REQUIRED.



PLUMBING FIXTURE SCHEDULE							
MARK	ITEM	MANUFACTURER & MODEL	DESCRIPTION	RIM HEIGHT (AFF)	MOUNTING	TRIM / ACCESSORIES	NOTES
DF-1	DRINKING FOUNTAIN	ELKAY EZH2O®	BOTTLE FILLING STATION WITH FILTERED BI-LEVEL LZ COOLER MODEL ENHANCED LZSTL8WSLP & LZSTL8WSSP	-	WALL-MOUNT	-	1,2,3,4
CM-1	COFFEE MACHINE	PER ARCHITECT	-	-	-	PER ARCHITECT	-
UR-1	URINAL	TOTO	0.125GPF HIGH-EFFICIENCY WASHOUT URINAL UT105U(V)(G)	19-1/4"	WALL-MOUNT	-	1,2,4
WC-1	WATER CLOSET	KOHLER WELLCOMME	ULTRA ELONGATED TOILET BOWL ONLY WITH 4-BOLT BASE - LESS SEAT K-96053-B-0	15-1/4"	FLOOR-MOUNT	KOHLER PRIMME 1.28 GPF MANUAL TOILET FLUSHOMETER VALVE WITH A 1-1/2" TOP SPUD K-76321-CP	1,2,4
HCWC-1	ADA WATER CLOSET	PROFLO	ELONGATED FLUSH VALVE TOILET BOWL IN WHITE - #PF1723WH	17-1/8"	FLOOR-MOUNT	KOHLER 10TD00N10-CP MACH® MACH™ TRIPOINT™ DC 1.28 GPF TOILET FV	1,2,3,4
LAV-1	LAVATORY	KRION	PORCELANOSA SINK BC B819	30"	UNDER-MOUNT	DECK MOUNTED ELECTRONIC FAUCET LACAVA EX22.35	1,2,4
HCLAV-1	ADA LAVATORY	KOHLER CHESAPEAKE	14" WALL MOUNTED BATHROOM SINK WITH 3 HOLES DRILLED AND OVERFLOW	30-1/4"	WALL-MOUNT	KOHLER K-10577-4-CP BANCROFT WIDESPREAD BATHROOM SINK FAUCET, 1.2 GPM IN POLISHED CHROME	1,2,3,4
SH-1	SHOWER	MOEN	SHOWER SYSTEM WITH 2.5 GPM SINGLE FUNCTION SHOWER HEAD AND POSI-TEMP PRESSURE BALANCING ROUGH-IN VALVE FROM THE COMMERCIAL COLLECTION	-	WALL-MOUNT	-	1,2,4
HCSH-1	ADA SHOWER	KOHLER HYDRORAIL-S	SHOWER COLUMN KIT WITH AWAKEN G110 (MODEL: K-76471)	-	WALL-MOUNT	-	1,2,3,4
SK-1	SINK	KOHLER CAIRN®	33" UNDERMOUNT SINGLE-BOWL KITCHEN SINK K-27785	30"	UNDER-MOUNT	CRUE® PULL-DOWN KITCHEN SINK FAUCET WITH THREE-FUNCTION SPRAYHEAD K-22972	1,2,3,4

NOTES:
 1. MAKE, MODEL, AND COLOR OF FIXTURE AND TRIM SHALL BE SPECIFIED BY THE ARCHITECT.
 2. VERIFY FIXTURE DIMENSIONS & MOUNTING HEIGHTS WITH ARCHITECT'S PLANS & INTERIOR ELEVATIONS.
 3. FIXTURE SHALL BE ADA COMPLIANT. VERIFY REQUIRED MOUNTING HEIGHT & ACCESSIBILITY CLEARANCES WITH LOCAL CODES BEFORE INSTALLING FIXTURE.
 4. CONTRACTOR SHALL VERIFY THAT WALL-MOUNTED FIXTURE AND CARRIER HAS ADEQUATE WALL CLEARANCE. COORDINATE WITH ARCHITECTURAL WALL SECTIONS.
 5. PLUMBING FIXTURES SPECIFIED MAY BE SUBSTITUTED FOR APPROVED EQUAL.



Rick Gonzalez, AIA
 President
 FL License AR0014172
 120 South Olive Ave. Ste. 210,
 West Palm Beach, FL 33401
 P (561) 659-2383
 www.regarchitects.com

DAVID B. FARBER BUILDING RENOVATION

1050 ROYAL PALM BEACH
 BLVD.ROYAL PALM BEACH, FL,
 33411

NO.	DATE	DESCRIPTION
1	01/09/25	Addendum #3

DATE: 12/13/2024
 MODELED: CA
 CHECKED: MA/REG
 PROJECT #: 24009
 © REG 2024

OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

PLUMBING DETAILS & SCHEDULES

RGD
 CONSULTING ENGINEERS
 JUPITER | ORLANDO
 561-743-0165 | 407-845-9630
 WWW.RGDENGINEERS.COM
 2151 ALT A1A #2000, JUPITER, FL 33477
 CERT OF AUTH 5454

PERMIT SET
P-2.01